



MPC MEETING

WEDNESDAY JUNE 17, 2015

12:30 P.M.

**MUNICIPAL PLANNING COMMISSION
WEDNESDAY JUNE 17, 2015 – 12:30 PM
TOWN OF REDCLIFF**

AGENDA

<u>Pg.</u>	<u>AGENDA ITEM</u>
1.	CALL TO ORDER
2.	ADOPTION OF AGENDA
3.	PREVIOUS MINUTES A) Minutes of April 15, 2015 meeting
4.	LIST OF DEVELOPMENT PERMITS ADVERTISED A) April 21, April 28, May 5, May 12, June 2, 2015
5.	DEVELOPMENT PERMIT APPLICATION APPROVED BY DEVELOPMENT AUTHORITY A) Development Permit Application 15-DP-015 Goulet Trucking Lot 12, Block 6, Plan 9811617 (1576 South Highway Drive SE) Denied: Over height fence in front yard B) Development Permit Application 15-DP-016 Goulet Trucking Lot 12, Block 6, Plan 9811617 (1576 South Highway Drive SE) Denied: Free Standing Sign C) Development Permit Application 15-DP-018 Goulet Trucking Lot 13, Block 6, Plan 9811617 (1576 South Highway Drive SE) Approved: Fencing D) Development Permit Application 15-DP-019 Travis Campbell Lot 31-33, Block 2, Plan 123LK (922 2 Street SE) Approved: Home Occupation – Mobile Mechanic Service E) Development Permit Application 15-DP-022 Lyons Exterior Lot 3, Block 2, Plan 123LK (3 Elm Court SE) Approved: Covered deck F) Development Permit Application 15-DP-023 Vicki Page Lot 11, Block 148, Plan 0714646 (115 Broadway Ave. W) Approved: Child Care Facility

- G)** Development Permit Application 15-DP-024
Eunice Langille
Lot 23, Block 11, Plan 9511357 (728 Mitchell Street S)
Approved: Installation of driveway
- H)** Development Permit Application 15-DP-026
Brost Developments
Lot 7-8, Block 43, Plan 1117V (225 1 Street SE)
Approved: Change of Use – Auto Repair
- I)** Development Permit Application 15-DP-028
Bruce Vine
Lot 116, Block 43, Plan 7911064 (1701 Broadway Avenue E)
Approved: Change of Use – Automotive Repair
- J)** Development Permit Application 15-DP-029
Hang's There Mechanical
Lot 1, Block 9, Plan 7711421 (#1 Industrial Drive NE)
Approved: Change of Use – Automotive Repair
- K)** Development Permit Application 15-DP-030
G+E Greenhouses
Lot 42, Block 96, Plan 1510086 (112 8 Street NW)
Approved: Permit to Stay
- L)** Development Permit Application 15-DP-031
Barry Stigler
Lot 25, Block 60, Plan 9412360 (101 5 Street SW)
Approved: Permit to Stay
- M)** Development Permit Application 15-DP-032
Simon Clewlow
Lot 32-34, Block 92, Plan 1117V (17 4 Street NW)
Approved: Home Occupation – IT Consulting
- N)** Development Permit Application 15-DP-033
Chase Adams
Lot 51, Block 121, Plan 0714603 (228 4 Street NW)
Approved: Detached garage
- O)** Development Permit Application 15-DP-034
BR Remanufacturing
Unit 1, Plan 0912850 (#1 1302 Dirkson Drive NE)
Approved: Change of Use – Automotive Repair
- P)** Development Permit Application 15-DP-035
Rick Pedersen
Lot 48, Block 82, Plan 0411624 (51 6 Street NE)
Approved: Hot tub

- Q)** Development Permit Application 15-DP-036
Ron Messenger
Lot 16, Block 6, Plan 0012006 (953 Kipling Cr. NE)
Approved: Shed
- R)** Development Permit Application 15-DP-037
Flame Roerich
Lot 48, Block 2, Plan 0213235 (48 Riverview Drive SE)
Approved: Home Occupation – Day home
- S)** Development Permit Application 15-DP-038
Dean Porter
Lot 25, Block 5, Plan 7510958 (721 Main Street S)
Approved: Home Occupation – Janitorial
- T)** Development Permit Application 15-DP-039
Abram Weise
Lot 1-2, Block 133, Plan 1117V (302 1 Street NW)
Approved: Detached Garage
- U)** Development Permit Application 15-DP-040
Goering Construction
Lot 31, Block A, Plan 0012065 (1618 Dirkson Drive NE)
Approved: Commercial Building
- V)** Development Permit Application 15-DP-041
Roy Link Law Office
Lot 8, Block 10, Plan 7711421(20 Industrial Drive SE)
Approved: Permit to Stay
- W)** Development Permit Application 15-DP-042
Supernal Homes
Lot 47, Block 91, Plan 9411418 (302 Broadway Ave W)
Approved: Single Family Dwelling
- X)** Development Permit Application 15-DP-043
Isaak Friesen
Lot 60, Block 138, Plan 9812329 (302 Main Street N)
Approved: Detached garage
- Y)** Development Permit Application 15-DP-044
Harvey Berger
Lot 1, Block 100, Plan 00132221 (102 4 Street NW)
Approved: Permit to Stay
- Z)** Development Permit Application 15-DP-045
Dwayne Sharpe
Lot 16-18, Block 10, Plan 1117V (505 1 Street SE)
Denied: Addition to detached garage

AA) Development Permit Application 15-DP-046
Viola Pander
Lot 35-36, Block 17, Plan 1117V (430 3 Street SE)
Approved: Permit to Stay

BB) Development Permit Application 15-DP-052
Theresa Toning
Lot 24, Block 74, Plan 1117V (10 3 Street SE)
Refunded: Existing use same as proposed use

6. DEVELOPMENT PERMITS FOR MPC CONSIDERATION

A) Development Permit Application 15-DP-047
1624509 Alberta Ltd
Lot 41, Block 84, Plan 0912688 (26 3 Street NE)
Dwelling units on the second floor

7. FOR DISCUSSION

A) Eastside Area Structure Plan - Draft

8. ADJOURNMENT

MINUTES

- Carried

C) Development Permit Application 15-DP-027

Bruce Vine

Lot 11-14, Block 80, Plan 9310188 (Bay 4-5 511 South Railway Drive SE)

Change of Use – Warehouse – Similar Use

B. Vine mentioned that he was the Applicant for Development Permit 15-DP-027 and recused himself from the discussion because of a pecuniary interest. B. Vine sat as the Applicant for MPC's decision.

S. Clewlow moved that Development Permit Application 15-DP-027 for a Change of Use – Warehouse – Similar Use be approved as submitted with the following conditions:

1. A parking plan showing 5 parking stalls with one stall to be barrier free and properly signed approved by the Development Officer prior to the issuance of a Development Permit.
2. Any outdoor storage shall be screened from the view of abutting residential districts.
3. Any exterior signage shall require a separate Development Permit Application.

- Carried

B. Vine rejoined the discussion as a member of the Municipal Planning Commission.

5. FOR DISCUSSION

At the March 18 Municipal Planning Commission meeting the MPC directed the Development Officer to review other municipality's regulations regarding Development Permits for a Change of Use. The Development Officer presented what was required in the two municipalities that he was directed to check into.

After reviewing what was presented, the MPC directed the Development Officer to develop a questionnaire to replace the checklist that is currently being supplied to customers.

6. ADJOURNMENT

B. Vine moved adjournment of the meeting at 1:22 pm.

- Carried.

Chairman

Secretary



TOWN OF REDCLIFF DEVELOPMENT PERMITS

NOTICE OF DECISION OF MUNICIPAL PLANNING COMMISSION

Development
Permit Application# Details

- 15-DP-017 Lot 12, Block 6, Plan 9811617
(1576 South Highway Drive SE)
APPROVED: Change of Use - Truck Terminal and Storage
- 15-DP-025 Lot 20, Block 13, Plan 0913590 (939 Manor Place SE)
APPROVED: Single Family Dwelling

A Development Permit for a Discretionary Use does not take effect until fourteen (14) days after the date of this notice provided that no Appeals have been registered with this office.

Persons claiming to be affected by a Development Permit for a Discretionary Use may appeal to the Subdivision and Development Appeal Board by submitting a \$100.00 fee, and written notice stating reasons for the Appeal to the Town Manager within fourteen (14) days after this notice is published.

Permitted Uses - For Information Only:

Development
Permit Application# Details

- 15-DP-023 Lot 11, Block 148, Plan 0714646 (115 Broadway Avenue W.)
APPROVED WITH CONDITIONS: Child Care Facility
- 15-DP-24 Lot 23, Block 11, Plan 9511357 (728 Mitchell Street SE)
APPROVED WITH CONDITIONS: Driveway
- 15-DP-026 Lot 7, 8, Block 43, Plan 1117V (225 1 Street SE)
APPROVED: Addition to home

*Note: No appeal is available for the issuance of a Development Permit for a permitted use unless provisions of the Land Use Bylaw have been relaxed, varied, or misinterpreted.

Brian Stehr,
Development Officer



TOWN OF REDCLIFF DEVELOPMENT PERMITS

NOTICE OF DECISION OF DEVELOPMENT OFFICER

DISCRETIONARY USES:

Development
Permit Application# Details

- 15-DP-016 Lot 12, Block 6, Plan 9811617
(1576 South Highway Drive SE)
DENIED: Free Standing Sign
- 15-DP-017 Lot 32-34, Block 92, Plan 1117V (174 Street NW)
APPROVED: Home Occupation - IT Consulting
- 15-DP-033 Lot 51, Block 121, Plan 0714603 (2284 Street NW)
APPROVED: Accessory Building, Detached Garage

A Development Permit for a Discretionary Use does not take effect until fourteen (14) days after the date of this notice provided that no Appeals have been registered with this office.

Persons claiming to be affected by a Development Permit for a Discretionary Use may appeal to the Subdivision and Development Appeal Board by submitting a \$100.00 fee, and written notice stating reasons for the Appeal to the Town Manager within fourteen (14) days after this notice is published.

Permitted Uses - For Information Only:

Development
Permit Application# Details

- 15-DP-015 Lot 12, Block 6, Plan 9811617
(1576 South Highway Drive SE)
DENIED: Fence
- 15-DP-020 Lot 19, Block 13, Plan 0913590 (939 Manor Place SE)
APPROVED: Single Family Dwelling
- 15-DP-021 Lot 31, Block A, Plan 0012065 (1618 Dirksen Drive NE)
APPROVED: Demolition of Building
- 15-DP-022 Lot 3, Block 2, Plan 123LK (3 Elm Court SE)
APPROVED: Enclosed deck
- 15-DP-029 Lot 1, Block 9, Plan 7711421 (1 Industrial Drive NE)
APPROVED: Automotive Repair and Service Shop
- 15-DP-034 Unit 1, Plan 0912850 (#11302 Dirksen Drive NE)
APPROVED: Automotive Repair and Service Shop

*Note: No appeal is available for the issuance of a Development Permit for a permitted use unless provisions of the Land Use Bylaw have been relaxed, varied, or misinterpreted.

Brian Stehr, Development Officer



TOWN OF REDCLIFF DEVELOPMENT PERMITS

NOTICE OF DECISION OF DEVELOPMENT OFFICER DISCRETIONARY

Development

Permit Application# Details

15-DP-035 Lot 48, Block 82, Plan 0411624 (51' 6" Street NE)
APPROVED: Hot Tub

A Development Permit for a Discretionary Use does not take effect until fourteen (14) days after the date of this notice provided that no Appeals have been registered with this office.

Persons claiming to be affected by a Development Permit for a Discretionary Use may appeal to the Subdivision and Development Appeal Board by submitting a \$100.00 fee, and written notice stating reasons for the Appeal to the Town Manager within fourteen (14) days after this notice is published.

Brian Stehr, Development Officer



TOWN OF REDCLIFF DEVELOPMENT PERMITS

NOTICE OF DECISION OF DEVELOPMENT OFFICER

Discretionary Uses

Development

Permit Application# Details

15-DP-036 Lot 16, Block 6, Plan 0012006 (51' 6" Street NE)
APPROVED: Garden Shed

15-DP-037 Lot 78, Block 2, Plan 0213235
(48 Riverview Drive SE)
APPROVED: Home Occupation - Child Care

15-DP-038 Lot 25, Block 5, Plan 7510958
(721 Main Street S)
APPROVED: Home Occupation - Janitorial Service

15-DP-039 Lot 1-2, Block 133, Plan 1117V
(302 1 Street NW)
APPROVED: Accessory Building - Detached Garage

A Development Permit for a Discretionary Use does not take effect until fourteen (14) days after the date of this notice provided that no Appeals have been registered with this office.

Persons claiming to be affected by a Development Permit for a Discretionary Use may appeal to the Subdivision and Development Appeal Board by submitting a \$100.00 fee, and written notice stating reasons for the Appeal to the Town Manager within fourteen (14) days after this notice is published.

Brian Stehr, Development Officer



TOWN OF REDCLIFF DEVELOPMENT PERMITS

NOTICE OF DECISION OF DEVELOPMENT OFFICER

Discretionary Uses

Development

Permit Application#	Details
---------------------	---------

15-DP-043	Lot 60, Block 138, Plan 9812329 (302 Main Street N) APPROVED: Detached Garage
-----------	--

15-DP-045	Lot 16-18, Block 10, Plan 1117V (505 1 Street SE) DENIED: Detached Garage
-----------	--

A Development Permit for a Discretionary Use does not take effect until fourteen (14) days after the date of this notice provided that no Appeals have been registered with this office.

Persons claiming to be affected by a Development Permit for a Discretionary Use may appeal to the Subdivision and Development Appeal Board by submitting a \$100.00 fee, and written notice stating reasons for the Appeal to the Town Manager within fourteen (14) days after this notice is published.

Permitted Uses -- For Information Only:

Development

Permit Application#	Details
---------------------	---------

15-DP-018	Lot 13, Block 6, Plan 9811617 (1550 South Highway Drive SE) APPROVED: Fence
-----------	--

15-DP-028	Lot 116, Block 3, Plan 7911064 (1701 Broadway Ave. E.) APPROVED: Automotive repair and Service Shop
-----------	--

15-DP-040	Lot 31, Block A, Plan 0012065 (1618 Dirksen Drive NE) APPROVED: Commercial Building
-----------	--

15-DP-042	Lot 47, Block 91, Plan 9411418 (302 Broadway Ave. W.) APPROVED: Single Family Dwelling
-----------	---

*Note: No appeal is available for the issuance of a Development Permit for a permitted use unless provisions of the Land Use Bylaw have been relaxed, varied or misinterpreted.

Brian Stehr
Development Officer



DEVELOPMENT PERMIT

Application # 15-DP.047Roll # 0267000

APPLICATION SECTION				
Property Owner:		Mailing Address / PO Box		
1624 509 ALBERTA LTD		172 ALTAWANA DR. N.E.		
Phone	Fax	City	Prov	Postal Code
403-977-0241	403-526-9434	MEDICINE HAT	AB	T1A 5N5
Applicant / Contractor / Agent: Owner:		Mailing Address / PO Box		
SUNNY ATINA		172 ALTAWANA DR. N.E.		
Phone	Fax	City	Prov	Postal Code
403-977-0241	403-526-9434	MEDICINE HAT	AB	T1A 5N5

PROJECT LOCATION		
Civic (Street) Address of the Property on which the development is to be affected:		26-3rd ST. NE, REDCLIFF, AB
Lot(s)	Block	Plan
41	84	0912688

PROJECT INFORMATION			
Description of Proposed Development			
COMM RESIDENTIAL SUITS ABOVE LIQUOR STORE			
<input type="checkbox"/> Home Occupation <input type="checkbox"/> Property Improvements <input type="checkbox"/> Signage <input type="checkbox"/> Temporary changes			
<input type="checkbox"/> Basement Development <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> Other			
Proposed Setbacks	Front	Rear	Estimated Value of Project: \$ _____
Flankage	Left Side	Right Side	
Parcel Size		Number of Units	
		2	
Land Use District		C-2	
Is the development near slopes of 15% or greater		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Start Date		Estimated Completion Date	
AUG 2015		APRIL 2016	
Applicant/Owner Signature			
Application Date		MAY 29th, 15	
<input type="checkbox"/> Permitted Use		<input type="checkbox"/> Dev. Officer Discretionary <input checked="" type="checkbox"/> Discretionary Use (MPC)	



DEVELOPMENT PERMIT

Application # 15-DP-047

Roll # 0267000

IMPORTANT NOTES:

1. In addition to completing this form, and application for a Development Permit shall be accompanied by the following information, where relevant:
 - a. Site plan showing the legal description, existing and proposed buildings, front, rear and side yards. Any provisions for off street loading and/or vehicle parking, site plan to be accurate at a scale to the satisfaction of the Development Officer.
 - b. Floor plans and elevations, preferably on 11" x 17" inch paper.
 - c. A statement of uses and, in the case of development proposed in an industrial area, a statement indicating the manner in which the applicant intends to conform to any performance standards applicable.
2. A Development Permit does not become effective until the time for appeal has expired (14 days) or until such appeal has been determined.
3. If the development authorized by a permit does not commence within 12 months from the date of its issue, the permit ceases to be valid.
4. Failure to complete this form fully and to supply the required information and plans may mean that this application for a permit will not be considered and may cause delays in the processing of the application.
5. This is **not** a **Building Permit**, **Occupancy Permit** or **Business License**. Any approvals granted regarding this application does not excuse the applicant from complying with requirements of Federal, Provincial or other municipal legislation, or the conditions of any easement, restrictive covenant or agreement affecting the buildings or lands.

PRIVACY: This information is being collected under the authority of the Town of Redcliff Building and Development Permit Bylaw, Town of Redcliff Land Use Bylaw, the Municipal Government Act and the Freedom of Information and Protection of Privacy Act. This information will be used to process your application and may be used to provide statistical data. This information may also be used for taxation and assessment purposes. This information is protected by the provisions of the Freedom of Information and Protection of Privacy Act. If you have any questions about the collection of information, please contact the Town of Redcliff F.O.I.P.P. Coordinator at (403) 548-3618.

PERMIT VALIDATION SECTION (to be completed by the Development Officer)

Approved ☐

Approved with Condition(s) ☐

Refused ☐

Conditions

Note: (see attached Development Permit Report)

Issuing Officers Name:

Issuing Officer's signature

Date of Decision:

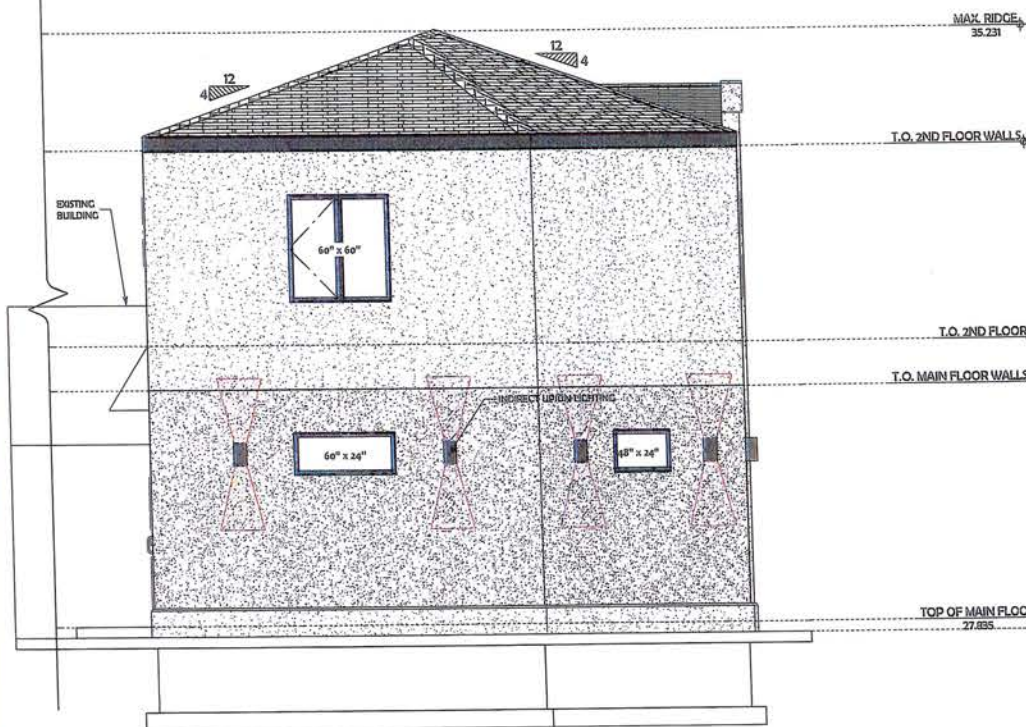
Date of Issue:

Date Permit Fee Paid: May 22, 2015

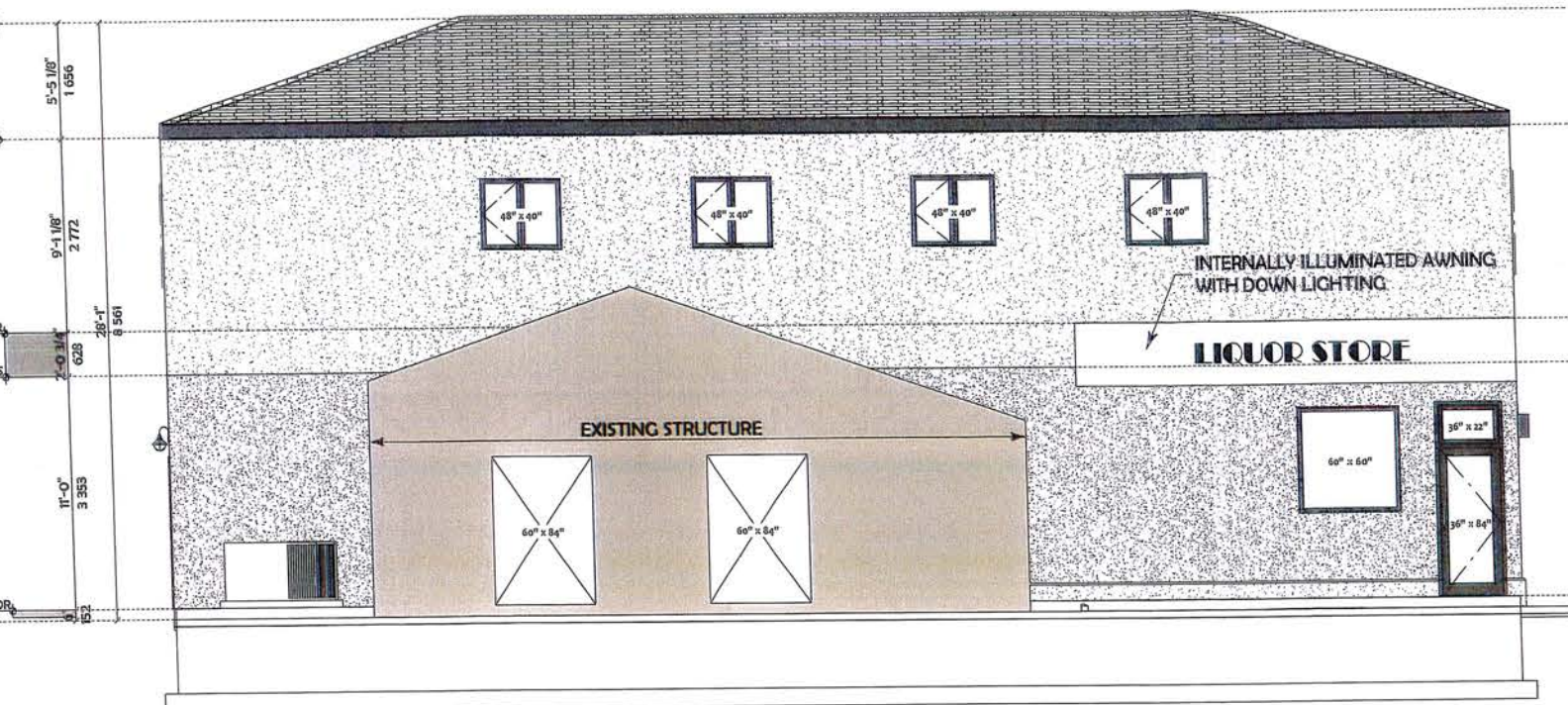
Payment Method ☐ Cash ☒ Cheque ☐ Debit

Permit Fees: \$ 200.00

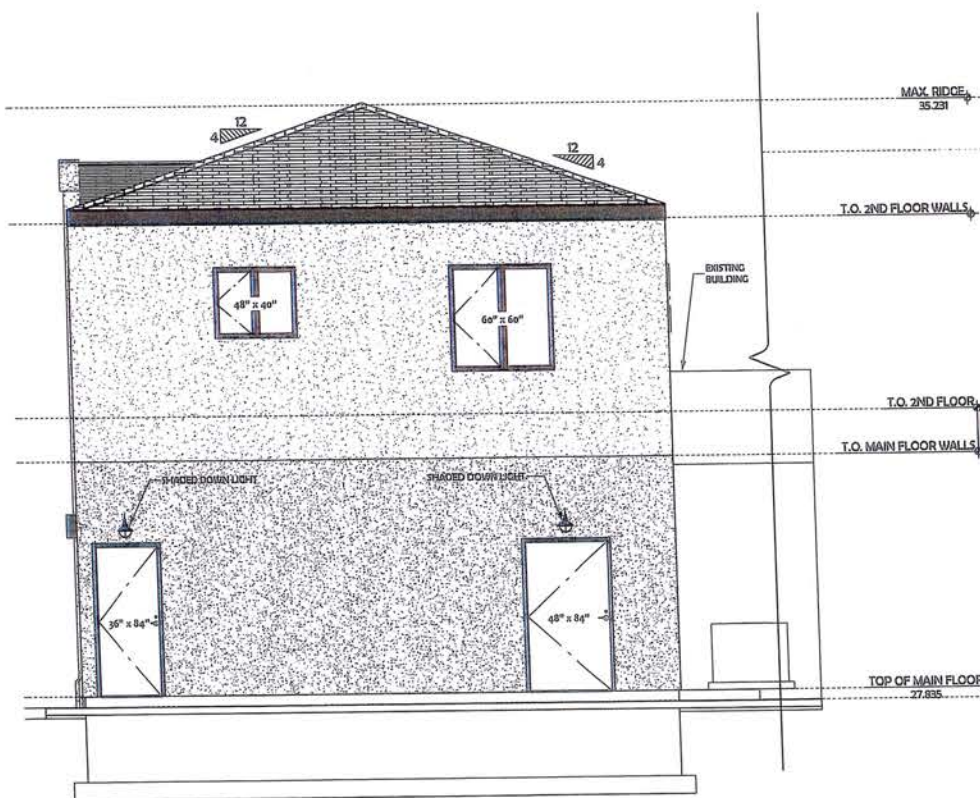
Receipt # 303913



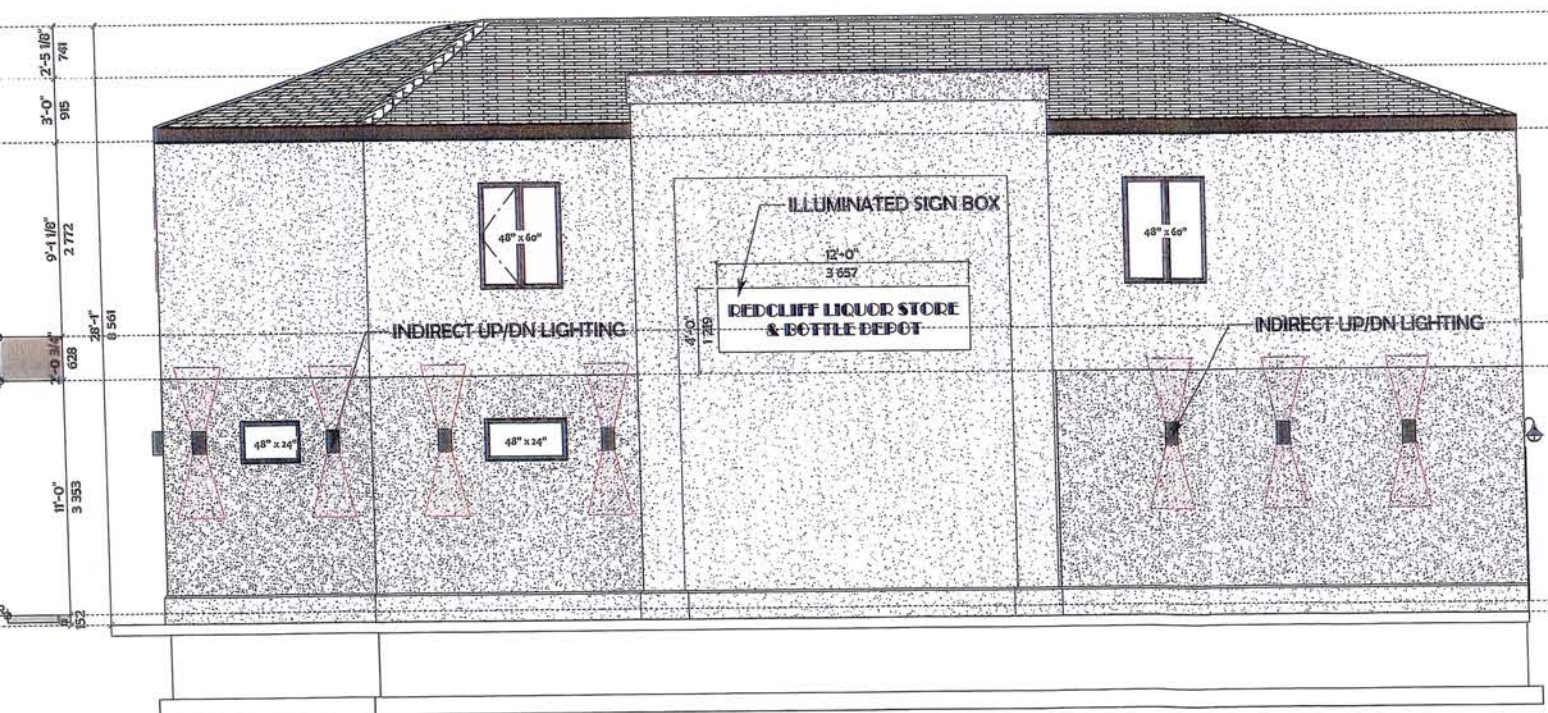
1 NORTH ELEVATION
A1 SCALE: 0'-1/4" = 1'-0"



2 EAST ELEVATION
A1 SCALE: 0'-1/4" = 1'-0"



3 SOUTH ELEVATION
A1 SCALE: 0'-1/4" = 1'-0"



2 WEST ELEVATION
A1 SCALE: 0'-1/4" = 1'-0"

REDCLIFF LIQUOR STORE
#26 - 3 STREET NE, REDCLIFF, AB.
LOT 41, BLOCK 84, PLAN 0912688

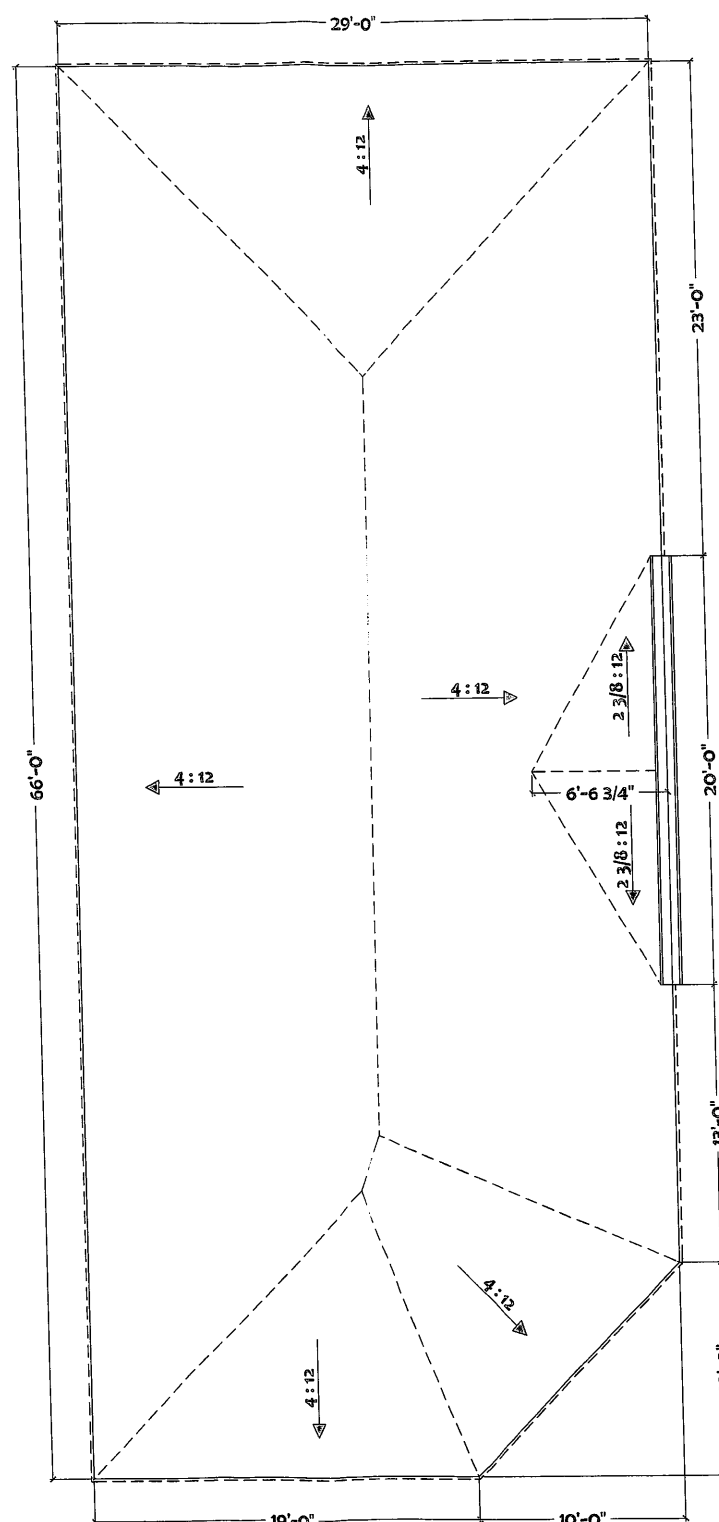
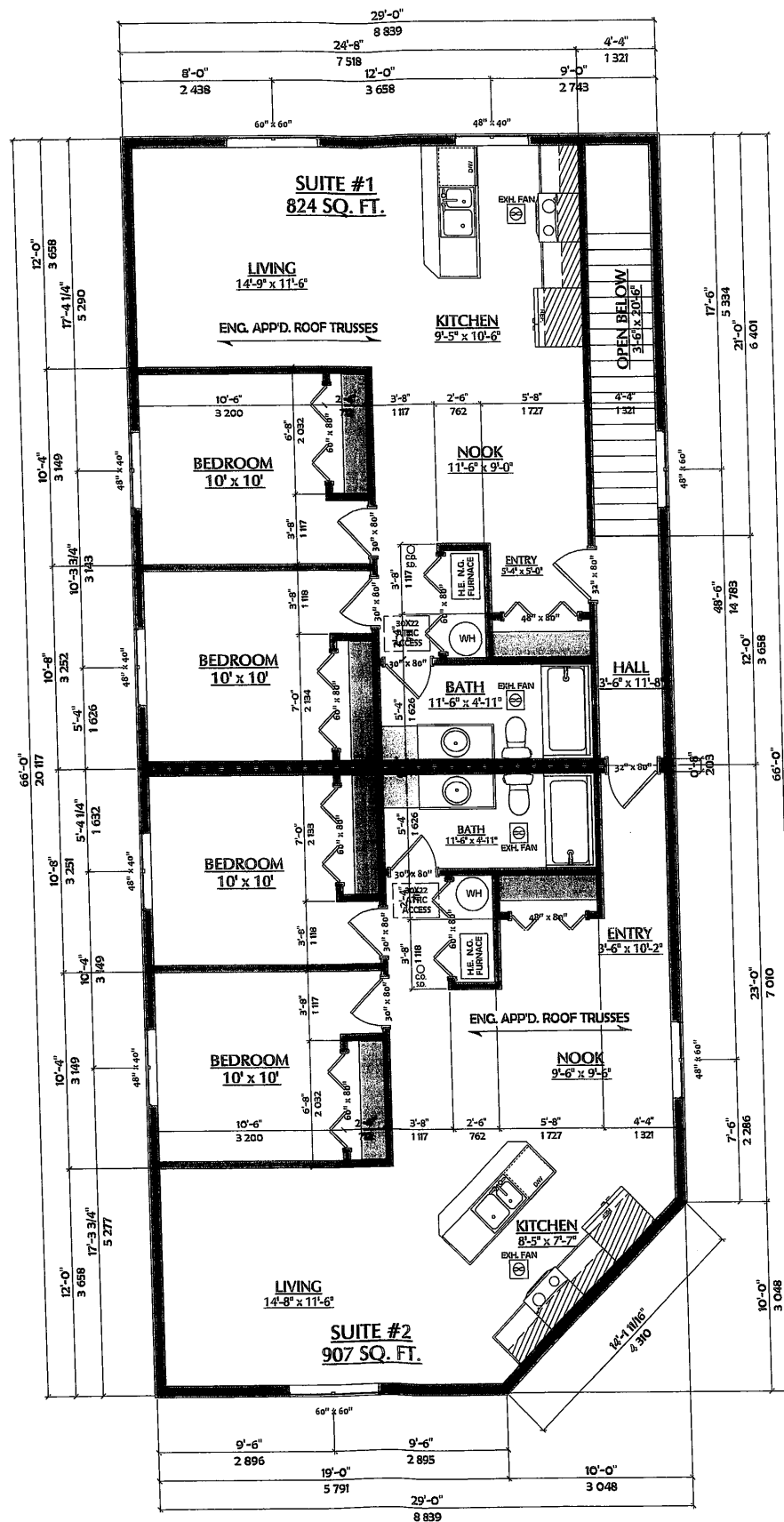
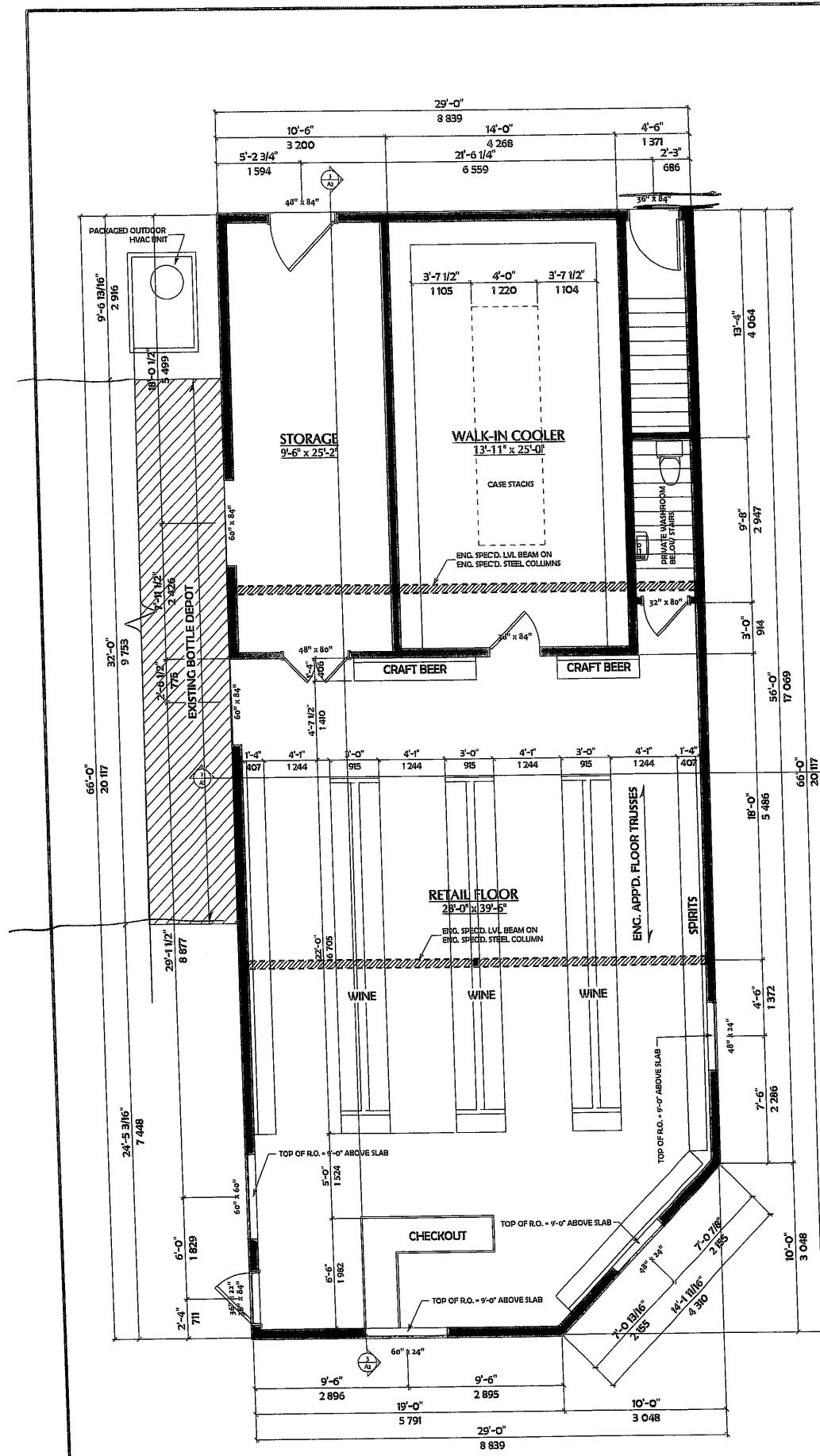
ELEVATIONS

revision:	FINAL - R3
scale:	as shown
date:	nov. 29, 2014
drawn:	R.I.D.
file:	slural2014-1
printed:	may 9, 2015
dwg. no.	A1 OF 4

ph: 403.504.6555
email: robert.dyck@gmail.com
custom home design
construction drawings
30 / artistic renderings

THIS DRAWING IS FOR ARCHITECTURAL PURPOSES ONLY.
REFER TO ENGINEERED DRAWINGS FOR ALL STRUCTURAL DETAILS.

ROBERT I. DYCK HOME DESIGN



THIS DRAWING IS FOR ARCHITECTURAL PURPOSES ONLY.
 REFER TO ENGINEERED DRAWINGS FOR ALL STRUCTURAL DETAILS.

REDCLIFF LIQUOR STORE
 #26 - 3 STREET NE, REDCLIFF, AB.
 LOT 41, BLOCK 84, PLAN 091 2688

ROBERT I. DYCK HOME DESIGN

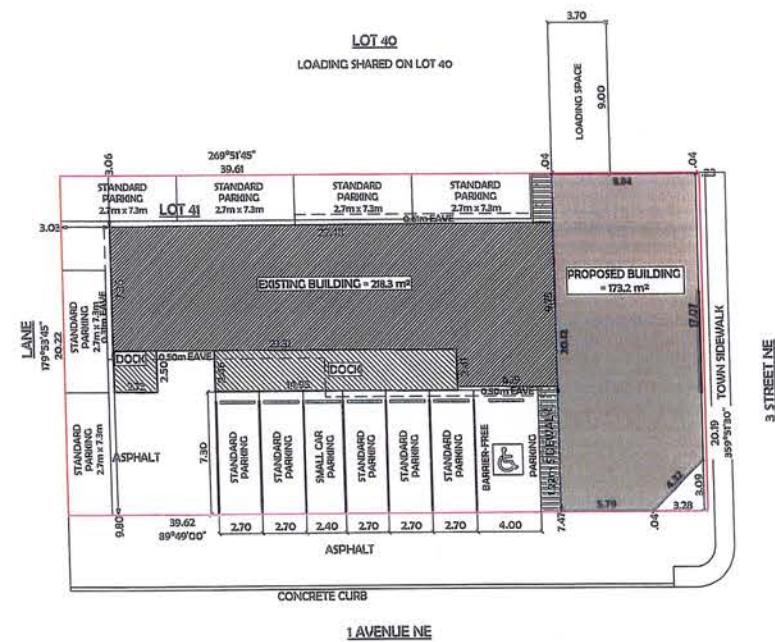
MAIN FLOOR PLAN	
revision:	FINAL - R3
scale:	as shown
date:	nov. 24, 2014
drawn:	RID
file:	atwal2014-1
printed:	may 9, 2015
dwg. no.	A3
	OF 4

ph: 403.563.6366
 email: robert.dyck@gmail.com

customer home design
 construction drawings
 30 various readings



RENDERING



1 SITE PLAN
A4 SCALE: 1:200



RENDERING

REDCLIFF LIQUOR STORE
#26 - 3 STREET NE, REDCLIFF, AB.
LOT 41, BLOCK 84, PLAN 091 2688

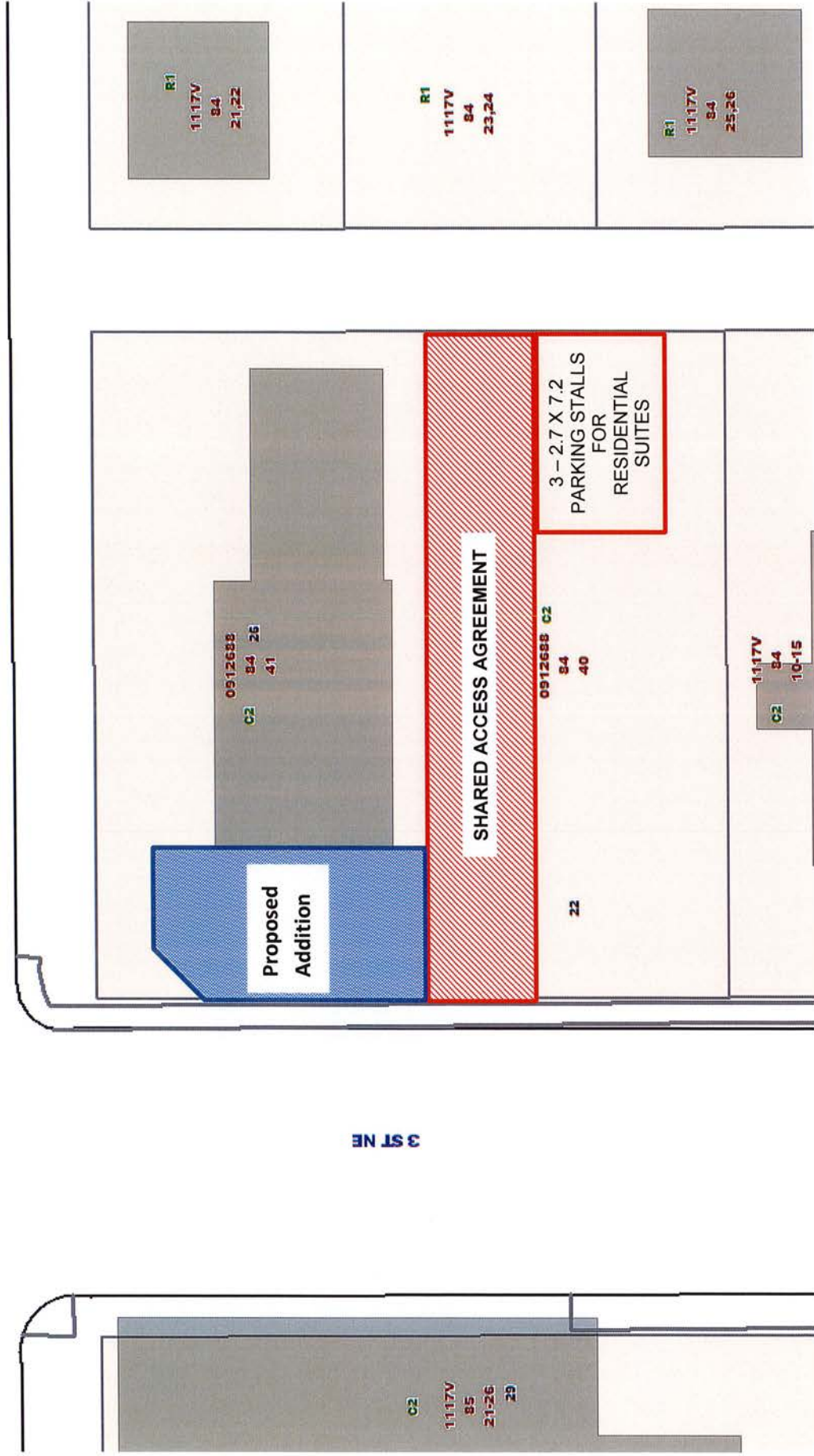
SITE PLAN RENDERINGS	
revision:	FINAL - R3
scale:	as shown
date:	nov. 29, 2014
drawn:	RID
file:	ahual2014-1
printed:	may 4, 2015
dwg. no.	A4 OF 4
ph: 403 504 5559 email: robert.dyck@gmail.com	
custom home design construction drawings 3D / artistic renderings	

ROBERT I. DYCK HOME DESIGN

THIS DRAWING IS FOR ARCHITECTURAL PURPOSES ONLY.
REFER TO ENGINEERED DRAWINGS FOR ALL STRUCTURAL DETAILS.

Drawing is Not Drawn to Scale, and is for concept only

1 AVENUE



Development Permit Application **Background Information / Review**

Date: June 8, 2015

Applicant:	Sunny Atwal
Property Owner:	624509 Alberta Ltd.
Civic Address:	26 3 Street NE
Legal Address:	Lot 41, Block 84, Plan 0912688
Land Use:	C-2 Downtown Commercial District
Development Officer:	Brian Stehr

Background:

On December 1, 2014 S. Atwal submitted a Development Permit Application for a liquor store with storage on the second floor. The Development Permit Application was approved in January. The Development Permit was approved with the following conditions:

1. An appropriate instrument be registered to titles (lot 40, Block 84, Plan 0912688, and Lot 41, Block 84, Plan 0912688) to address the shared access agreement to the satisfaction of the Development Officer, and prior to any development. The appropriate instrument to include:
 - I. A 6.1 m access lane from the south property line extending north of lot 40, Block 84, Plan 0912688.
 - II. The shared access to be maintained exclusively for vehicular access.
 - III. The shared access to be free and clear from all buildings, structures, and/or debris.
 - IV. The maintenance and upkeep of maintenance of shared access to be the sole responsibility of Lot 40, Block 84, Plan 0912688.
 - V. The appropriate instrument shall only be discharged if the use for which the access is required is no longer needed.
2. No outside storage areas of material and/or equipment are permitted.
3. Garbage Containers shall comply with the regulations established in Section 58 of the Town of Redcliff's Land Use Bylaw and be to the satisfaction of the Development Authority.
4. On-site lighting shall comply with the regulations established in Section 63 of the Town of Redcliff's Land Use Bylaw and be to the satisfaction of the Development Authority.

On May 19, 2015 S. Atwal contacted me via email that he was planning on changing layout of the upper floor. S. Atwal informed me that he now wanted to have two (2) residential units on the second. I had an opportunity to discuss the matter in person with Mr. Atwal, and did inform him that residential units are allowed on the second floor and the he would have to submit a Development Permit Application. In the Land Use Bylaw Section 89 *Dwelling Units on Second Floor* is a **Discretionary Uses – Commission** and is being forwarded to you for consideration.

I have reviewed the Land Use Bylaw and note the following:

1. Dwelling units are allowed on the second floor provided that they meet the requirements of Section 75 of the Land Use Bylaw.
2. Section 68.1 states:
 - a) *Parking requirements for uses not specifically identified shall be determined by the Development Authority having regard to similar uses and for which specific parking requirements are set.*
3. The Parking Tables found in Section 68 of the Land Use Bylaw does not define the required parking for *Dwelling Units on the Second Floor*. Apartment Buildings are required to provide 1.5 spaces / unit, and Single Family Dwellings are required to provide 2 spaces / unit.

S. Atwal provided a parking plan which showed 13 parking stalls available for the use of the Recycling Facility and Liquor Store. Should the Commission conclude that Apartment Buildings are a Similar Use to *Dwelling Units on Second Floor* that would require designation of 3 extra parking stalls. On the attached Parking Plan, it appears that all free space has been used by the 2 existing uses. S. Atwal has indicated that the necessary parking is available on the adjoining lot to the south. S. Atwal is the owner of this lot and would be agreeable to registering any necessary instruments to title to allow the parking and access in perpetuity. When reviewing the space that the parking and shared agreement access it appears that the coverage would be 42.26% of the lot would be unavailable to be constructed on. This would severely impede future development.

I consulted with the Public Services Manager to discuss if the addition of 2 residential suites on the second floor would warrant the need for an extra garbage bin. He informed me that he did not think that it would be necessary.

It is the recommendation of the Development Officer that Development Permit Application 15-DP-047 be APPROVED with the following conditions:

1. Consolidation of Lot 41, Block 84, Plan 0912688 (26 3 Street NE) and Lot 40, Block 84, Plan 0912688 (22 3 Street NE).



Town of Redcliff



Eastside Area Structure Plan 2015*

Prepared by:

ISL Engineering and Land Services Ltd.
#1, 6325 – 12 Street SE
Calgary, AB, Canada T2H 2K1

403 254.0544 tel
403 254.9186 fax

ISL Project Number:

26250

Date:

May 22, 2015

*This Area Structure Plan is an update to:

- 2001 East Side Area Structure Plan
- 2000 Deer Ridge Area Structure Plan

Table of Contents

	page
1.0 Introduction.....	1
1.1 General Purpose.....	1
1.2 Plan Area Location	1
1.3 Policy Context.....	2
1.4 Community Consultation.....	4
2.0 Plan Area Context.....	5
2.1 Ownership and Existing Land Use	5
2.2 Environmental Constraints.....	5
2.3 Man-Made Constraints	6
3.0 Vision & Guiding Principles	9
4.0 Development Concept	10
4.1 Residential	13
4.2 Commercial.....	13
4.3 Public Spaces	13
4.4 Reserves, Open Space & Trails	14
4.5 Transportation.....	16
5.0 Servicing Strategy	18
5.1 Municipal Utilities	18
5.2 Water	18
5.3 Sanitary Sewer	19
5.4 Stormwater	21
5.5 Shallow Utilities.....	23
6.0 Implementation	24
6.1 Intermunicipal Coordination	24
6.2 Development Phasing.....	24
6.3 Subdivision Applications and Other Considerations.....	24
6.4 Plan Review & Amendment.....	25

Maps

Figure 1 – Eastside ASP Location & Ownership	1
Figure 2 – Plan Area Context.....	8
Figure 3 – Land Use Concept	11
Figure 4 – Development Concept.....	12
Figure 5 – Open Space & Trails Network	15
Figure 6 – Transportation Network	17
Figure 7 – Water & Sanitary Servicing	20
Figure 8 – Stormwater	22
Figure 9 – Development Phasing	26

1.0 Introduction

The Eastside Area Structure Plan (ASP) is an update to the 2001 *Town of Redcliff East Side Area Structure Plan* (Bylaw No. 1266/2001). The updated plan area includes previously unplanned lands owned by I-XL Industries. The development concept and ASP policies within reflect the vision and guiding principles (Section 1.3), policy context (Section 1.4), and community consultation undertaken (Section 1.5), as well as feedback from administration received throughout the planning process.

Plan area analysis conducted as part of the previous ASP, and the *Eastside Functional Servicing Report* (April 2007), have been used to establish portions of the plan area context (Section 2.0), development concept (Section 3.0) and servicing strategy (Section 4.0).

1.1 General Purpose

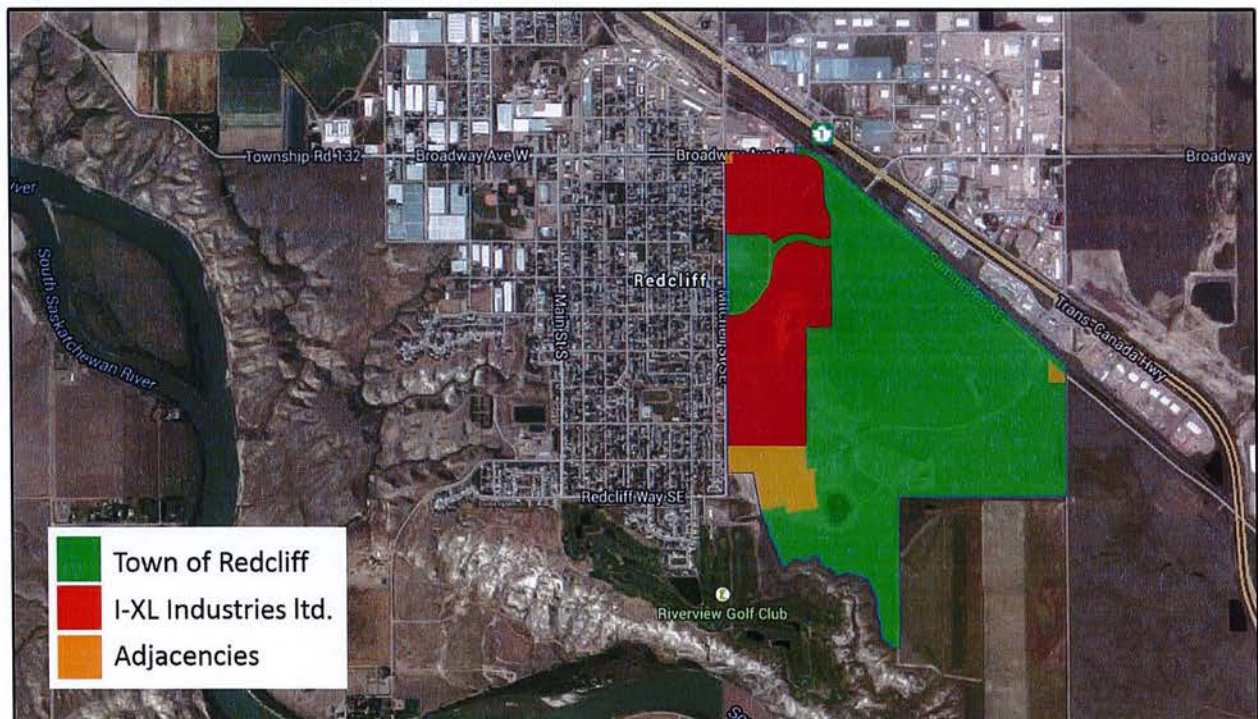
This ASP provides guidance for land use and subdivision decisions in the Eastside plan area that will refine and implement the Town's statutory plans and promote community development in a logical and economical manner that is compatible with adjacent urban areas.

An Area Structure Plan is a long term policy document, and it is anticipated that this ASP will evolve through subsequent amendments without compromising its broad intent.

1.2 Plan Area Location

The Eastside ASP plan area (see **Figure 1**) consists of approximately 216 hectares of land located in Section 9-13-6-W4M and the NW ¼ of Section 4-13-6-W4M. The plan area is bounded by Mitchell Street on the west, the Canadian Pacific Railway/TransCanada Highway#1 to the north, the City of Medicine Hat corporate boundary to the east and southeast and a coulee leading to the South Saskatchewan River Valley to the south.

Figure 1 – Eastside ASP Location & Ownership



1.3 Policy Context

The Eastside ASP is consistent with the following legislation, statutory plans, and local policy, where applicable:

Municipal Government Act (MGA)

As outlined in the MGA:

Area structure plan

633(1) *For the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may by bylaw adopt an area structure plan.*

(2) An area structure plan

(a) must describe

- (i) the sequence of development proposed for the area,*
- (ii) the land uses proposed for the area, either generally or with respect to specific parts of the area,*
- (iii) the density of population proposed for the area either generally or with respect to specific parts of the area, and*
- (iv) the general location of major transportation routes and public utilities, and*

(b) may contain any other matters the council considers necessary.

1995 c24 s95

The South Saskatchewan Regional Plan (SSRP)

While developed in consideration of implementation policies outlined in the SSRP, SSRP policies are non-binding in regards to the Eastside ASP, as stated on page 42 of the SSRP:

Binding Nature of the Implementation Plan

Except otherwise provided in the Regulatory Details, the provisions of this Implementation Plan are not intended to have binding legal effect and are statements of policy to guide the Crown, decision-makers and local government bodies in respect of the following activities of the planning region:

- a) Managing activities to meet the reasonably foreseeable needs of current and future generations of Albertans, including aboriginal peoples;*
- b) Enforcing compliance with any provision of this Regulatory Details Plan or any other enactment*
- c) Setting priorities in the co-ordination of decisions by decision-makers and local government bodies;*
- d) Monitoring the cumulative effect of human endeavor and other events;*
- e) Responding to the cumulative effect of human endeavour and other events; and*
- f) Generally in respect of carrying out their respective powers, duties and responsibilities.*

Tri-Area Intermunicipal Development Plan (IDP) (Bylaw #1616-2009)

Part of the Eastside ASP plan area is within 800 metres of the City of Medicine Hat – an area known as the Urban Referral (UR) Area in the Tri-Area IDP. A draft of Eastside ASP **will be** referred to the City of Medicine Hat, per the below policy:

2.14.2 Urban Referral Area Policies

c) *The City and Town shall refer applications for discretionary use development permits, Area Structure Plans, bylaw amendments, subdivision applications within the Urban Referral Area to the adjacent municipality.*

d) *When an Area Structure Plan is adopted by the Town or City for areas considered part of the Urban Referral area, further applications for planning approvals will not require referral to the adjacent municipality, unless the approving authority is of the opinion that a referral is appropriate due to the nature or scale of the development. Referral for municipal engineering or planning studies will continue to be referred to the adjacent municipality.*

Town of Redcliff Municipal Development Plan (MDP) (Bylaw #1656/2010)

The objectives of the Eastside ASP are closely aligned with the goals and objectives outlined in the Town of Redcliff MDP and the following community development objectives:

2.2.1. Goals

To provide for the future growth and development of Redcliff through a framework of planning objectives, policies and guidelines that will direct development in a manner consistent with the desires of the residents of Redcliff and Town Council.

2.2.2. Objectives

- a. *To establish a balanced growth strategy that recognizes the Town of Redcliff as a major land owner and potential land developer;*
- b. *To minimize the municipal costs related to providing serviced land for a range of land uses and development;*
- c. *To preserve and improve amenities promoting the efficient use of land and encouraging a high standard of development;*
- d. *To minimize land use conflicts by designating areas for future compatible development;*
- e. *To anticipate future community needs and requirements so that adequate planning, programming and budgeting can occur; and*
- f. *To promote and maintain intermunicipal cooperation with the adjacent municipalities of the City of Medicine Hat and Cypress County, through joint planning efforts such as the Tri-Area Intermunicipal Development Plan.*

11.1. Community Development Objectives

- a. *To provide Redcliff with a variety of open space to meet the needs of different types of recreational activity.*
- b. *To ensure that new residential neighbourhoods are planned in a manner that provides for appropriate and adequate open space and school grounds.*
- c. *To protect the natural environment while making provisions for its recreational use, wherever possible.*
- d. *To promote and encourage a wide range of social, recreational and cultural opportunities that enhances the quality of life.*

11.2. Planning for Open Space

11.2.1. *The development of existing open space for recreational purposes prior to the development of additional land is encouraged.*

11.2.2. *The Town shall maintain a variety of open space for passive and active recreational uses at the neighbourhood, community, and where appropriate, the regional level.*

11.2.3. The Town shall ensure that suitable open space is provided for through the appropriate designations in Area Structure Plans and the dedication of municipal reserve at the time of subdivision.

Town of Redcliff, 2010 Redcliff Roadway System Master Plan (November 23, 2012)

The development concept within the Eastside ASP has been prepared to address the Eastside Traffic Issues Review (Appendix G) conducted as part of the Roadway System Master Plan.

Land Use Bylaw (Bylaw #1698/2011)

Lands within the Eastside ASP are currently designated UR Urban Reserve District or PS Public Service District. The proposed land use intent within the plan area is consistent with other uses defined in the Land Use Bylaw #1698. Proposed land uses outlined within this ASP indicate intent only, formal land use amendments to Land Use Bylaw #1698 will be required prior to each phase of development.

1.4 Community Consultation

The Eastside ASP was developed in consultation with Town Council and administration, selected stakeholders, and the general public via a series of public engagement events. Feedback was gathered and used to inform the development concept, and the policies within this ASP. Community consultation events included:

- **Planning Workshop** (December 16, 2014) with members of council, school board representatives, land owners and administration.
- **Open House #1** (January 22, 2015) development concept review with members of the general public.
- **Draft ASP Circulation (forthcoming)** to local utility providers, school boards, provincial agencies, and adjacent municipalities per the Tri-Area IDP.
- **Open House #2 (forthcoming)** draft ASP review with members of the general public.
- **Public Hearing (forthcoming)** with council and members of the general public in accordance with the Municipal Government Act.

2.0 Plan Area Context

Environmental and man-made constraints pertinent to the ASP development concept are discussed below and illustrated on **Figure 2 – Plan Area Context**.

2.1 Ownership and Existing Land Use

The Town of Redcliff currently owns ±165 hectares, which represents the majority of the lands in the plan area. I-XL Industries own ±51 hectares.

Lands within the plan area are currently designated as follows:

- **Urban Reserve District (UR)** – The purpose of this district is to protect land suited for urban development from premature subdivisions and developments until development of the land can proceed in an orderly fashion consistent with the Municipal Development Plan, Intermunicipal Development Plan and any Area Structure Plan in effect.
- **Public Service District (PS)** – The purpose of this district is to provide for the development of buildings and uses involving social, education, governmental and other public services.

Policy 2.1.1 – Appropriate amendments to Land Use Bylaw #1698/2011 will be required at the time of subdivision.

Adjacencies

The following three (3) sites within the plan area are immediately adjacent to the plan area and have been integrated into the development concept by virtue of adjacency. The policies within this plan do not apply to these areas.

1. **Former East Side ASP (Bylaw No. 1266/2001) Phase One** – Initial development from the former East Side ASP (Bylaw No. 1266/2001) represents the initial development phase which was approved in accordance with previous policy.
2. **Hargrave House** – the Historic Hargrave House (located on Block X Plan 725AV) has been integrated into the plan area as a key entrance feature to the proposed development area.
3. **Medicine Hat Lands** – Lots 1 to 21 on Plan 273AV; 32; 1-21, owned by the City of Medicine Hat, have been integrated into the plan area. No specific land use has been proposed for these lands but it is anticipated that any future development proposals will be reviewed by both municipalities with specific consideration to the revised Eastside ASP.

Policy 2.1.2 – No policies within this ASP shall adversely impact adjacencies as identified in Figure 1 – Eastside ASP Location & Ownership.

2.2 Environmental Constraints

Eastside Coulee

A coulee leading to the South Saskatchewan River Valley forms the southernmost periphery of the plan area. The plan area follows the boundaries established within the *Town of Redcliff East Side Area Structure Plan* (Bylaw No. 1266/2001), which are set back from the top of the coulee escarpment.

Policy 2.2.1 – The development boundary will be confirmed by land survey and geotechnical analysis; setbacks will be finalized to the satisfaction of the approval authority as a condition of subdivision.

Broadway Avenue Remembrance Trees

The line of deciduous trees along Broadway Avenue were planted in remembrance by local war veterans.

Policy 2.2.2 – Remembrance trees along Broadway Avenue shall be protected where feasible during future development to the satisfaction of the approval authority.

2.3 Man-Made Constraints

Well Sites

There are six (6) wells in the plan area with four (4) of them still being active and two (2) abandoned. The southernmost well site (IX-L 14-4) has been relaxed to 50 metres (as of October 12, 2007), and the Eastside development concept has assumed that the required 100 metre setback from all other active wells will be reduced to 50 metres as well. The reduction of this setback should be reviewed and approved by the Alberta Energy Regulator (AER) prior to subdivision. Abandoned well sites have a setback of 5 metres as outlined in AER's *Directive 079: Surface Development in Proximity to Abandoned Wells*.

Policy 2.3.1 – The Town will request a relaxation for all active well sites within the plan area from 100 metres to 50 metres from the Alberta Energy Regulator (AER) prior to subdivision.

Utility Rights of Way

There are a number of existing Utility rights of way on the subject lands. These utilities include natural gas pipelines, overhead power lines, sanitary sewer, and a fibre optic line that is part of the Alberta SuperNet. The development concept has incorporated existing facilities.

Policy 2.3.2 – Utility rights of way will be confirmed by land survey and setbacks will be finalized to the satisfaction of the approval authority as a condition of subdivision.

Brick Plant Sites

There are two former brick plant sites in the plan area, they are:

1. **Redcliff Premier Brick Plant** – This brick plant was closed in 1967 and demolished in 1976.
2. **Redcliff Pressed Brick Plant** – As outlined in Council Meeting Minutes (dated to April 14, 2014) Council agrees in principle with the establishment of an "Historic Park at IXL Brick Plant".

Policy 2.3.3 – Environmental analyses will be completed to the satisfaction of the approval authority as a condition of subdivision of both former Redcliff Brick Plant sites.

Policy 2.3.4 – The Town supports I-XL's plans for a commemorative park at the Redcliff Brick Plant site subject to Council's Resolution in Principle established on April 14, 2014.

Quarry Sites

There are three (3) former quarry sites in the plan area, they are:

1. **Premier Quarry** – The premier quarry (Provincial Mine Registration No. 0332), was last operated in 1952. The quarry was reclaimed to a broad swale draining to the east and is proposed to be converted to Pond A (see Section X).
2. **New Quarry 7** – Located north of the Redcliff pressed brick plant, New Quarry 7 was an open pit quarry in use until 2010. The quarry was reclaimed as a large bowl with a flat bottom. Reclamation approval is pending.
3. **Old Quarry 7** – Located south of the Redcliff pressed brick plant, Old Quarry 7 (Provincial Mine Registration No. 0379), was the original 1912 underground quarry converted in the 1920s to open pit and closed in the 1950s when New Quarry 7 was opened.

As outlined in Section 5.1 of the *Geotechnical Evaluation Eastside Subdivision and Commercial* (dated to April 2007), a development setback line is recommended for both the Premier Quarry and Old Quarry 7, to a 35 degree draw angle from the vertical of the base of underground mine works, plus an additional distance of 30 metres.

Policy 2.3.5 – No development shall occur on former quarry lands prior to a minimum of the completion of an Environmental Site Assessment to the satisfaction of the approval authority as a condition of subdivision.

Policy 2.3.6 – Former quarry lands which are not suitable for development are to be integrated into the open space and stormwater management networks within the plan area.

Former Lagoon Site

As outlined in Section 9.0 of the *Phase I Environmental Site Assessment Eastside Subdivision NW¼ SEC. 4 & SEC. 9-13-6-W4M, Redcliff, Alberta* (dated to February 2006), there is concern of contamination on the former lagoon site, "Stantec recommends additional investigation to assess the condition of the soil and groundwater on the IXL property, the former lagoon area, the former Redcliff brick plant, oil & gas sites, and on the former clay mines south of the plant."

As outlined in Section 5.3 of the *Geotechnical Evaluation Eastside Subdivision and Commercial* (dated to April 2007), "AMEC does not believe the former usage of the site as an open field sewage effluent disposal area will negatively impact the future residential subdivision."

Policy 2.3.7 – Environmental analyses will be completed on the former lagoon site to confirm suitability of the lands for proposed development to the satisfaction of the approval authority as a condition of subdivision.

Archaeological Sites

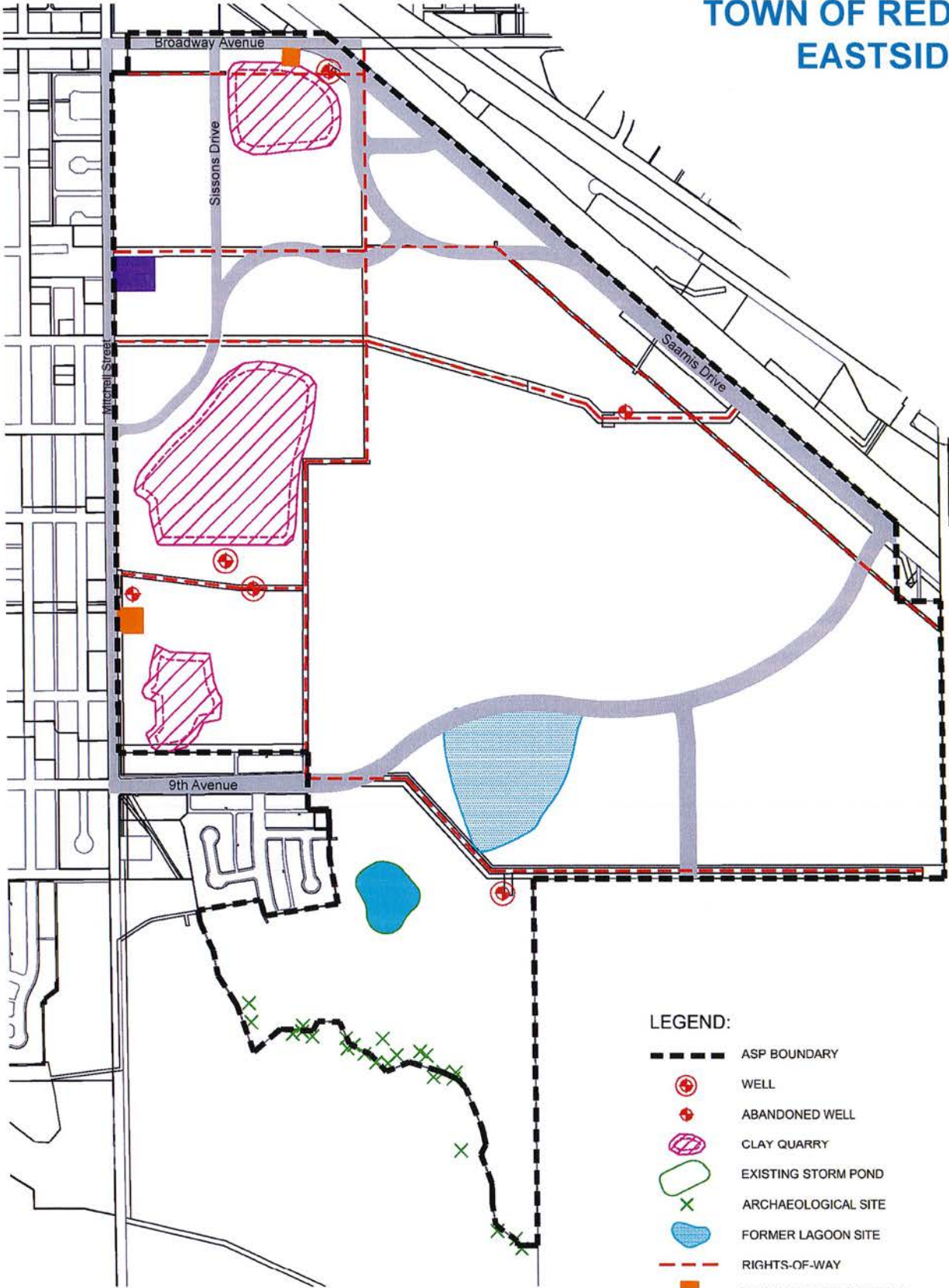
As outlined in the *Final Report: 2008 Mitigative Excavation Results from EaOq-59 and EaOq-64 in the Redcliff Eastside Subdivision*, conducted under Archaeological Research Permit No. 2008-110, "All construction activities, including vehicular traffic, shall avoid the site area of archaeological site EaOq 59 and the remaining site area of EaOq 64. Further studies will be required if avoidance is not feasible."

Policy 2.3.8 – No development shall occur on archaeological sites EaOq 59 and EaOq 64 as shown on Figure 2- Plan Area Context.

Protective Services Building

In 2010-'11 the Town constructed a Protective Services building along Mitchell Street. An expansion is expected to be located adjacent to the existing building. Zoning is in place at this location to accommodate the proposed expansion use without further amendment to the Land Use Bylaw.

TOWN OF REDCLIFF EASTSIDE ASP



- LEGEND:
- ASP BOUNDARY
 - ⊕ WELL
 - ABANDONED WELL
 - ▨ CLAY QUARRY
 - ▭ EXISTING STORM POND
 - x ARCHAEOLOGICAL SITE
 - ▭ FORMER LAGOON SITE
 - RIGHTS-OF-WAY
 - FORMER BRICK PLANT SITE
 - PROTECTIVE SERVICES BUILDING



FIGURE 2
PLAN AREA CONTEXT

3.0 Vision & Guiding Principles

The development concept for the Eastside ASP will be primarily residential, with a commercial component along Broadway Avenue continuing along Saamis Drive, in alignment with Town planning objectives and current market trends. The layout of the development concept provides a well-connected transportation system which allows residents to access community amenities through direct roadway and pathway connections. The school site and associated recreational amenities provide the central social focus in the plan area, creating a quality environment for a healthy and thriving community.

The following principles have guided the development of this ASP:

Strong Community Identity

The historical significance of the two I-XL Brick Plants and adjacent Hargrave House provide strong links to Redcliff's history. I-XL's intent to develop an interpretive park in the former Redcliff Pressed Brick Plant site – part of the overall open space network in this ASP – further enforces thematic elements that have been incorporated into this ASP.

Connectivity

The development concept within this ASP provides a framework for a compact, walkable and vibrant community which promotes walking, cycling and convenient vehicular access to community amenities and services. Based on a modified grid design, the roadway network provides access throughout the community and to adjacent established areas in the Town and undeveloped lands in the neighbouring City of Medicine Hat. Residential development is a logical extension of existing land uses west of Mitchell Street and strategic connections provide integration with existing Town facilities.

Housing Diversity

This ASP encourages a diversity of housing in order to meet the needs of a variety of different income groups and lifestyles. While the predominant form of housing in the plan area is single detached dwellings, demands for alternative housing choices will arise as Redcliff continues to grow. A variety of housing types are encouraged throughout the plan area to respond to various market segments and provide for a variety of lifestyle options, including: semi-detached housing, townhouses, and multi-family development.

Commercial Vitality

Current development in the Eastside plan area accommodates limited neighbourhood commercial facilities. These are located in close proximity to the school site and other recreational and historical amenities and provide the social focus for the neighbourhood. The commercial component in the plan area is intended to service the needs of the local residents and should not negatively impact commercial development proposed along the north boundary of the plan which is intended to complement the neighbouring land uses.

Community Amenities

Within the development concept, linear park systems have been aligned with major servicing corridors to efficiently use non-developable areas for enhanced connectivity throughout the community. Residents have convenient access to the school site, future recreational amenities and commercial opportunities, providing options for walking and cycling throughout the community and promoting a healthy balance of mobility choices.

Efficiency

The development concept reflects a concerted effort to obtain an efficient neighbourhood design that enhances connectivity and efficient servicing networks – reducing capital and operating costs for lands within the plan area.

4.0 Development Concept

The development concept has been produced in consultation with Town Council and administration, selected stakeholders, and the general public. The design and prescribed land uses have been developed in an iterative approach to reflect community consultation, the unique conditions, constraints within the plan area, and transportation connectivity and servicing realities pertinent to the planning process. The land use and development concepts are discussed below and illustrated in **Figure 3** and **Figure 4**. Development statistics are outlined below in **Table 1**.

Development areas are approximate only and represent the intent of the plan to provide 10% reserve dedication and accommodate a minimum net residential density of 12.3 units per hectare (5 units per acre). Given the long-term buildout of the Eastside area, as well as changing demographics, market conditions and the uncertainty associated with specific areas of the plan where previous activities may impact developability, it is likely that the neighbourhood concept will be revised from time to time. Adjustments to the development statistics will not require an amendment to the Area Structure Plan as long as the intent of the plan is not compromised.

The Eastside ASP area includes a high percentage of open space which represents areas that are otherwise undevelopable or constrained by utility easements or setbacks. In order to achieve a credible density target, the surplus open space areas should be removed from the density calculation. Minimum densities should be calculated on net residential development areas.*

Table 1 – Development Statistics

Land Use**	Area (ha)	% of Net Area	Population
Gross Plan Area	216	---	---
Non-Developable Open Space ***	35	---	---
Net Developable Area	181	100%	---
Residential (Lower Density)	92	50.5%	5000
Residential (Higher Density)	7	3.5%	500
Commercial	13	7%	---
Public Spaces	1	.5%	---
Parks & Open Space (Reserve Dedication)	18	10%	---
Transportation (Internal Roadways)	38	21.5%	---
Stormwater Management Facilities	12	7%	---

*Gross area = Total ASP area

Net Developable Area = Gross Area less Non developable Open Space

Net Residential Area = Net Developable Area less Commercial and Public Uses

**Development Statistics rounded to the nearest: hectare, half percent and hundred persons

***Should areas identified in this table as "non-developable open space" be deemed to be developable, the net developable area and appropriate land use areas will change accordingly. An amendment to this table will not be required as long as the full 10% reserve dedication is provided for the additional development lands.

TOWN OF REDCLIFF
EASTSIDE ASP

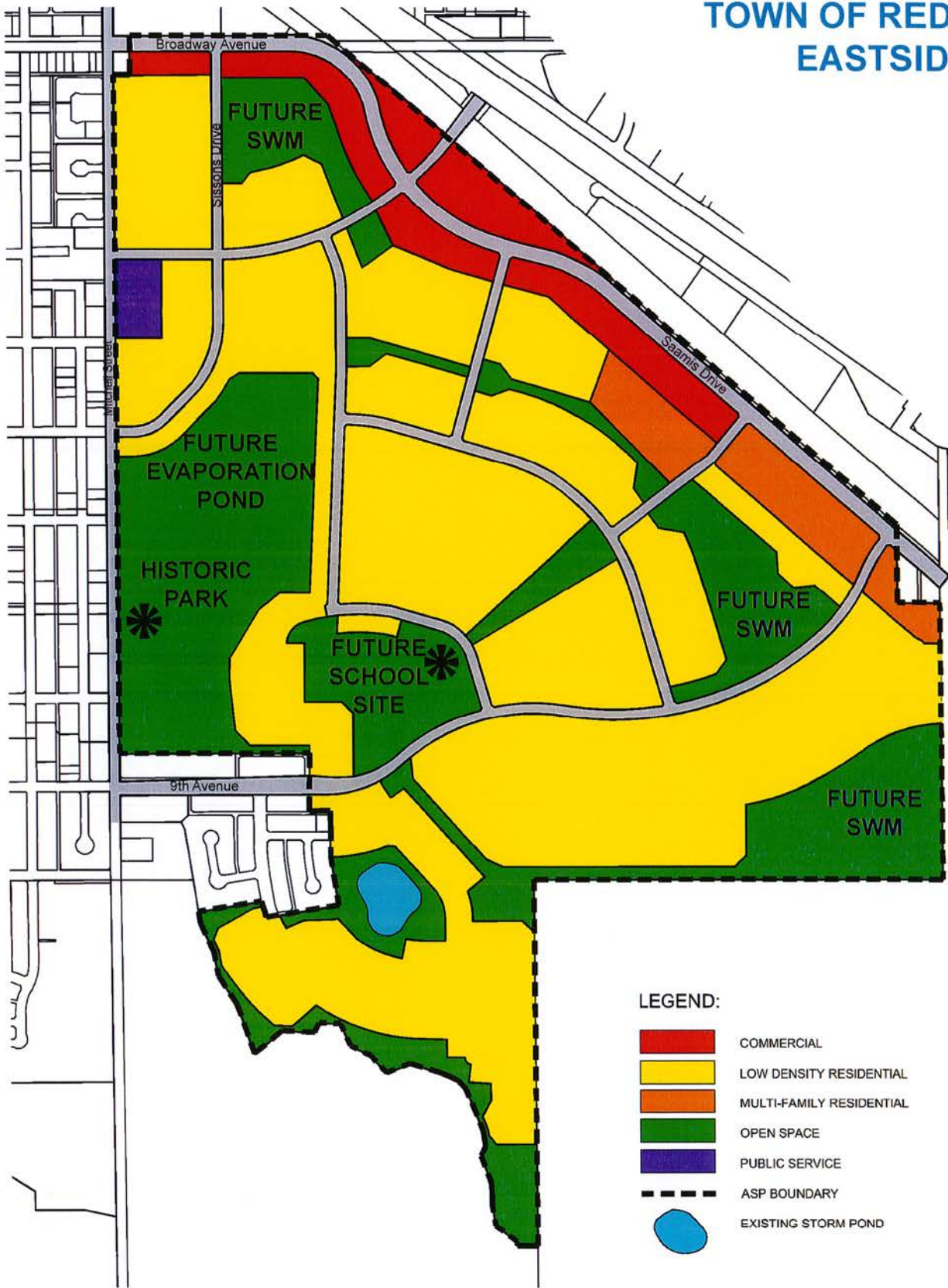
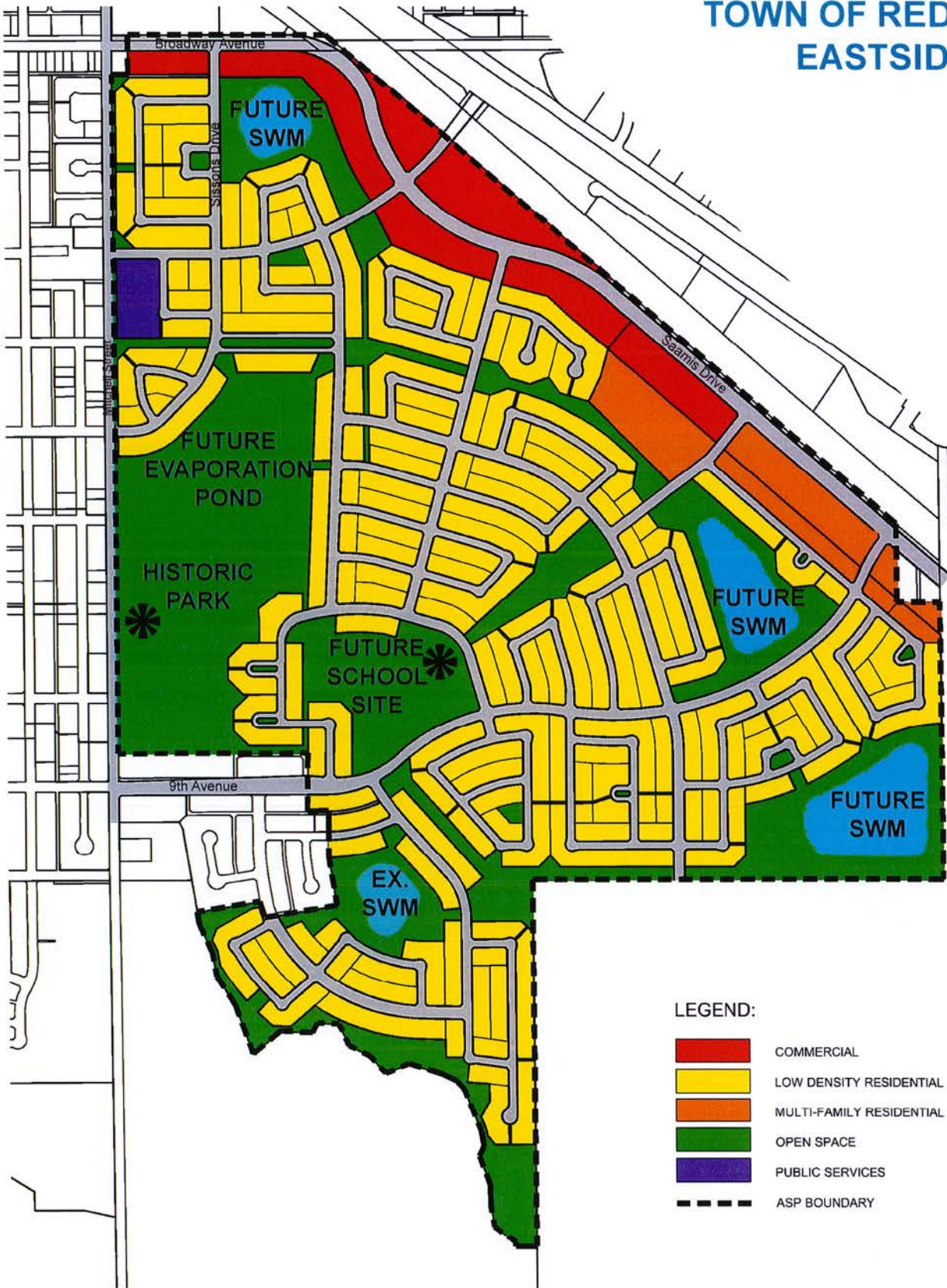


FIGURE 3
LAND USE CONCEPT

TOWN OF REDCLIFF
EASTSIDE ASP



LEGEND:

- COMMERCIAL
- LOW DENSITY RESIDENTIAL
- MULTI-FAMILY RESIDENTIAL
- OPEN SPACE
- PUBLIC SERVICES
- ASP BOUNDARY



FIGURE 4
DEVELOPMENT CONCEPT

4.1 Residential

PURPOSE: residential policies will ensure that residential development occurs within an acceptable density range to maximize servicing efficiencies. The density target is consistent with the Municipal Development Plan and the Eastside Functional Servicing Report (dated to April 2007) and will be reviewed and evaluated by the development authority at the time of subdivision.

Policy 4.1.1 – Lower Density and Higher Density Residential development will be directed to the areas shown on Figure 3 – Land Use Concept.

Policy 4.1.2 – The minimum residential required density within the plan area is 12.0 units per gross developable hectare (5.0 units per acre).

Policy 4.1.3 – Lower Density Residential will consist of single detached, semi-detached, tri-plex and townhouse dwelling units on lots ranging in sizes consistent with the Land Use Bylaw.

Policy 4.1.4 – Higher Density Residential will consist of four-plex, rowhouse or apartment type developments and will be directed to areas close to public open space with primary access to the arterial road system.

Policy 4.1.5 – Sites identified for Higher Density Residential will be developed in a manner that minimizes the potential impact on adjacent properties. At the discretion of the approval authority, this may include building orientation and placement to alleviate privacy/noise concerns, architectural treatment, landscaping and screen fencing to reduce visual impact.

4.2 Commercial

PURPOSE: Commercial policies provide compatible commercial development along the north boundary of the plan to accommodate market demand and provide goods and services to existing and future residents.

Policy 4.2.1 – Commercial development will be directed to the areas shown on Figure 3 – Land Use Concept.

Policy 4.2.2 – The location and size of specific commercial sites shall be determined at the Plan of Subdivision stage.

Policy 4.2.3 – Marketing rationale will be required to support non-commercial uses in areas identified as commercial and will be coordinated with an amendment to the Municipal Development Plan at the Land Use Amendment and Subdivision stage.

Policy 4.2.4 – Commercial development will be provided in a manner that minimizes the potential impact on adjacent properties. At the discretion of the development authority, this may include building orientation and placement to alleviate privacy/noise concerns, architectural treatment, landscaping and screen fencing to reduce visual impact.

4.3 Public Spaces

PURPOSE: Public Spaces policies provide for public spaces for two sites, (1) the protective services building, and (2) a centrally located school intended to serve the students of the area.

Policy 4.3.1 – A 0.5 hectare site has been identified adjacent to the existing Protective Services building for future expansion.

Policy 4.3.2 – The remainder of the public space lands adjacent to the RCMP building and future protective services building shall be re-zoned to an appropriate residential use at the Subdivision stage.

Policy 4.3.3 – A 4.0 to 5.0 hectare school site has been provided, as shown on Figure 5 – Land Use Concept. The school site will be dedicated as Municipal Reserve as part of the required reserve obligation.

4.4 Reserves, Open Space & Trails

PURPOSE: Reserves, open space and trails policies provide direction for the dedication of reserve lands for parks and open space and trails within the plan area as a way to meet the active and passive recreational needs of residents throughout the Town. Reserve lands will be used to create a variety of park spaces as well as natural park areas adjacent to the coulee.

The Open Space land use category includes areas where development is not likely to occur due to physical constraints or previous land use activities. Lands that are not suitable for development will either remain under private ownership, or be dedicated as Environmental Reserve or Public Utility Lots. Developable areas will be subject to the required 10% reserve dedication.

Policy 4.4.1 – Municipal reserve should be dedicated as reserve land in the full amount owing through the subdivision process in accordance with the Municipal Government Act.

Policy 4.4.2 – Prior to land use approval a reserve analysis shall be submitted to determine the amount of reserve owing and the allocation of reserve for the ownership area.

Policy 4.4.3 – Natural features that qualify as Environmental Reserve in accordance with the Municipal Government Act shall be dedicated as Environmental Reserve land.

Policy 4.4.4 – The amount of Municipal Reserve dedication will be ten (10) percent of the gross developable area contained within the proposed subdivision or ownership area in accordance with the Municipal Government Act.

- Municipal Reserve may be dedicated as cash-in-lieu when subdivision occurs in non-residential areas, at the discretion of the approval authority.
- Deferred Reserve may be provided where reserve is proposed in future phases to accommodate future neighbourhood amenities, illustrated in a shadow plan, at the discretion of the approval authority.

Policy 4.4.5 – The open space system and trail network will follow the general outline shown on Figure 5 – Open Space & Trails Network

Policy 4.4.6 – Multi-use trails will be constructed along the east side of Mitchell Street from Broadway to 9th Ave SE and along Broadway/Saamis Drive, as identified in the Roadway Master Plan 2010 and determined by the Town.

TOWN OF REDCLIFF
EASTSIDE ASP



- LEGEND:
- OPEN SPACE
 - PEDESTRIAN / TRAIL CONNECTIONS
 - ASP BOUNDARY



FIGURE 5
OPEN SPACE &
TRAIL NETWORK

4.5 Transportation

PURPOSE: Transportation system policies ensure that the transportation systems within the plan area allow residents to access community amenities through direct roadway and pathway connections, and that connections to the Town's existing transportation network will be extended into the plan area as subdivision and development occurs.

The re-alignment of Broadway Avenue/Saamis Drive has been identified as a future requirement to address technical roadway standards. The proposed alignment has been reviewed at a conceptual level to ensure adequate intersection spacing with respect to the existing railway and Trans Canada Highway. Further studies will be required at the time of development to address specific technical requirements, capacities and relocation of existing utilities.

Proposed alignments are consistent with the intent of the *2010 Redcliff Roadway System Master Plan*. It is anticipated that this plan may be updated from time to time over the life of the ASP. The following policies ensure that the roadway network will be developed to appropriate standards to accommodate the proposed densities at the time of development.

Policy 4.5.1 – The proposed transportation network is shown in Figure 6 – Transportation Network. Minor revisions to the alignment of major arterials or collector roadways will not require an amendment to the ASP.

Policy 4.5.2 – Revisions to local roadways and the addition of lanes shall be permitted without an amendment to the ASP at the discretion of the approval authority.

Policy 4.5.3 – Front drive access shall not be permitted within the plan area along Mitchell Street, 9 Avenue and 3 Avenue.

Policy 4.5.4 – The number of local road intersections along collector roads shall be kept to a minimum.

Policy 4.5.5 – The final alignment of Broadway Avenue/Saamis Drive shall be confirmed with a corridor realignment study prior to subdivision approval for the adjacent parcels.

Policy 4.5.6 – Commercial and multi-family driveways along Broadway Avenue/Saamis Drive should be kept to a minimum, shared driveways should be used and opposing driveways should be aligned, when possible.

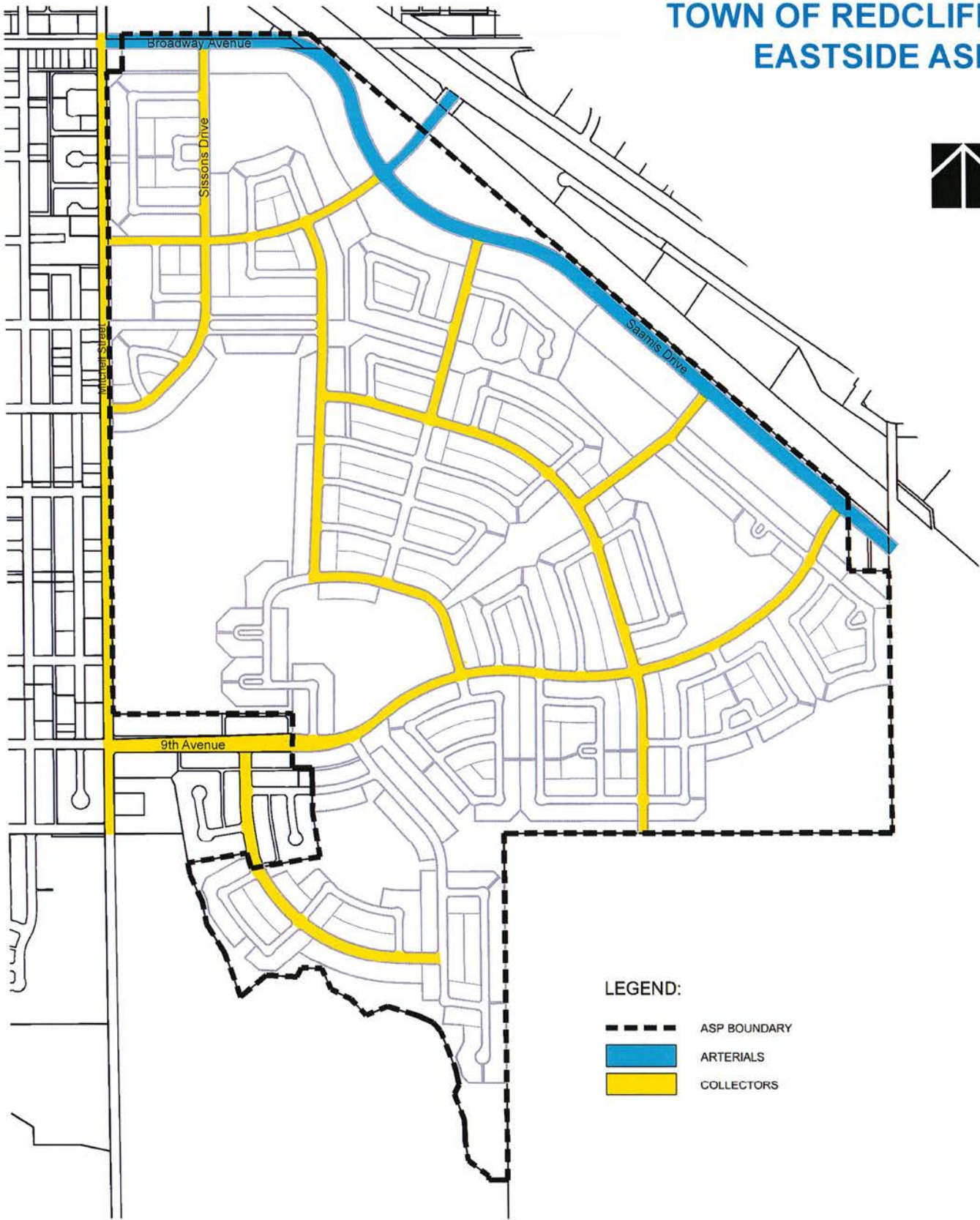
Policy 4.5.7 – Collector and local roads will be designed and constructed in a manner consistent with the Town standards at the time of development.

Policy 4.5.8 – Improvements at intersections along the arterial roadways may be required as development occurs. The design of these intersection improvements will be consistent with the Town's standards and approved functional plans at the time of development.

Policy 4.5.9 – The narrowing of 9th Ave SE shall occur as outlined in the 2010 Roadway System Master Plan or subsequent updates.

Policy 4.5.10 – Traffic calming may be considered throughout the plan area to discourage short-cutting traffic and mitigate potential noise.

TOWN OF REDCLIFF
EASTSIDE ASP



- LEGEND:
- ASP BOUNDARY
 - ARTERIALS
 - COLLECTORS



FIGURE 6
TRANSPORTATION
NETWORK

5.0 Servicing Strategy

PURPOSE: The purpose of these policies is to ensure that adequate utility infrastructure is provided to service urban development throughout the ASP area.

Servicing strategy policies have been developed to reflect the contents of the *Eastside Functional Servicing Report* (FSR, dated to April 2007), and updated to reflect the new Eastside ASP Development Concept.

It is anticipated that the 2007 FSR will be updated from time to time over the life of the ASP. The intent of the servicing policies is to provide adequate flexibility to be consistent with current servicing requirements as development occurs. Therefore updates to the 2007 FSR should not trigger amendments to the ASP.

Where servicing capacity is currently not in place, the policies provided below will require acceptable servicing strategies to be developed prior to development.

5.1 Municipal Utilities

PURPOSE: The purpose of these policies is to provide overarching policies for the alignment of municipal utilities with future development within the plan area.

Policy 5.1.1 – Development in the plan area will be serviced with municipal water, sanitary sewer, and a stormwater system.

Policy 5.1.2 – The provision and capacities of the water distribution mains and feeder mains, sanitary sewer mains and trunks, and stormwater mains and trunks should be in accordance with the Town standards and based upon the current Functional Servicing Report.

Policy 5.1.3 – Municipal utility alignments may be refined at the Subdivision and Land Use Amendment stage without an amendment to this ASP.

Policy 5.1.4 – Prior to the Subdivision and Land Use Amendment stage, the developer will submit studies and information determined necessary to identify the location and alignment requirements for municipal utilities within the development.

Policy 5.1.5 – Municipal utilities should be aligned to avoid negative impacts on Open Space and Environmental Reserve lands.

5.2 Water

PURPOSE: The purpose of these policies is to provide for the design and development of a suitable and efficient water distribution system.

Existing water services are illustrated on Figure 7 – Water & Sanitary Servicing

Policy 5.2.1 – The water distribution system should be designed to minimize its impact on natural features and adequately, safely and efficiently serve the full build out of the plan area.

Policy 5.2.2 – Proposed distribution systems and offsite requirements shall be reviewed, and if required, modelled, at the Subdivision stage.

Policy 5.2.3 – Alternative and more cost-efficient water servicing options may be considered at the Subdivision stage.

5.3 Sanitary Sewer

PURPOSE: The purpose of these policies is to provide for the design and development of a suitable and efficient sanitary sewer system to serve the plan area. The sanitary sewer system in this area is intended for drainage of sanitary sewage from the Eastside development only and has been sized accordingly.

There is limited capacity in the existing sanitary sewer system to service initial development in the plan area. Sanitary servicing studies are currently being conducted in the Town and the following policies have been provided to allow flexibility in determining appropriate servicing solutions as development occurs and technology is developed to address servicing requirements. Proposed sanitary servicing should be consistent with the Sanitary servicing reports in place at the time of development.

The existing sanitary sewer system is illustrated on Figure 7 – Water & Sanitary Servicing.

Policy 5.3.1 – The sanitary sewer system shall be designed to adequately and efficiently service the full build out of the plan area.

Policy 5.3.2 – A Sanitary Sewer Servicing Study may be required to demonstrate that the subject lands can be serviced in accordance with the overall design of the wastewater system for the area as a condition of subdivision.

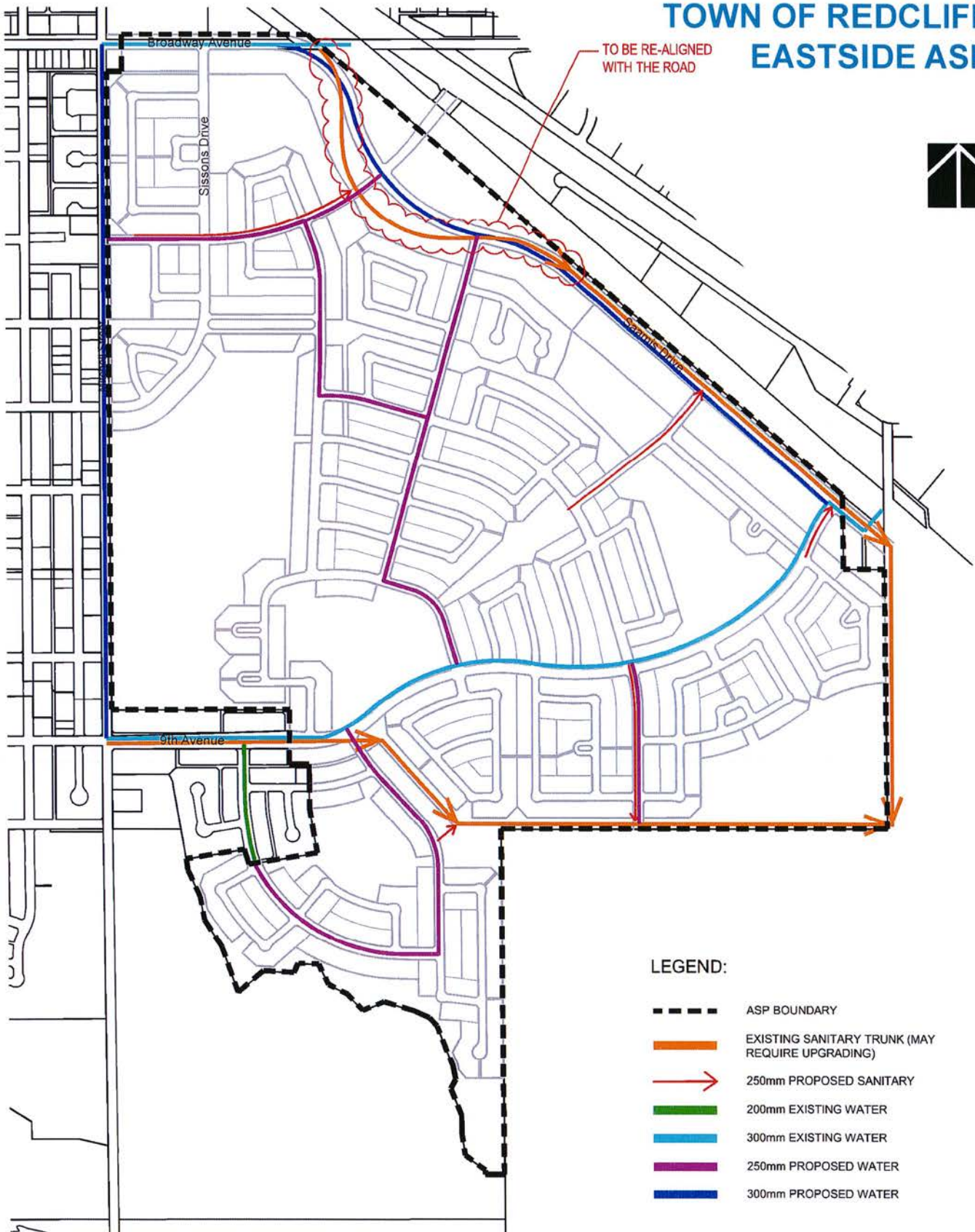
Policy 5.3.3 – Proposed sanitary sewer systems and offsite requirements shall be reviewed, and if required, modelled, to the satisfaction of the approval authority as a condition of subdivision.

Policy 5.3.4 – Alternate and more cost effective alignments and locations for sanitary sewer servicing can be considered at the Subdivision stage.

Policy 5.3.5 – The sanitary sewer system realignment within Saamis Drive shall be reviewed at the time of the corridor study for the realignment of Saamis Drive or at the Subdivision stage.

Policy 5.3.6 – The sanitary sewer system shall be in general conformance to the “Town of Redcliff Wastewater Master Plan Update, April 2015” and as approved or amended by the Town of Redcliff.

TOWN OF REDCLIFF EASTSIDE ASP



5.4 Stormwater

PURPOSE: The purpose of these policies is to provide for the design and development of a suitable and efficient stormwater management system to serve the plan area.

The *Eastside Stormwater Master Drainage Plan* (Appendix E of the 2007 FSR) supplements this ASP to develop a strategy for stormwater management for 227 ha of land within the Town of Redcliff. The master drainage plan provides a recommended stormwater management strategy that will address requirements for stormwater quantity control, and opportunities for use, facility configuration & Staging, and Landscape Architecture.

The Eastside Subdivision servicing concept includes two storm Lift Stations that are required for Ponds C and D. Table 4.4 of the *Eastside Stormwater Master Drainage Plan* describes the design requirements for each lift station.

Conceptual layouts of the proposed stormwater facilities are illustrated on Figure 8 – Stormwater.

Policy 5.4.1 – The stormwater management system shall align with the Eastside Stormwater Master Drainage Plan and other applicable and relevant Town policies.

Policy 5.4.2 – Stormwater ponds should be located on a public utility whenever possible and should not be located in areas that qualify as Environmental Reserve.

Policy 5.4.3 – Treated stormwater releases at pre-development rates into the South Saskatchewan River are acceptable in a way that contributes to the function of the natural features and provides for quality habitat.

Policy 5.4.4 – The stormwater management system shall be designed to adequately and efficiently service the full build out of the plan area.

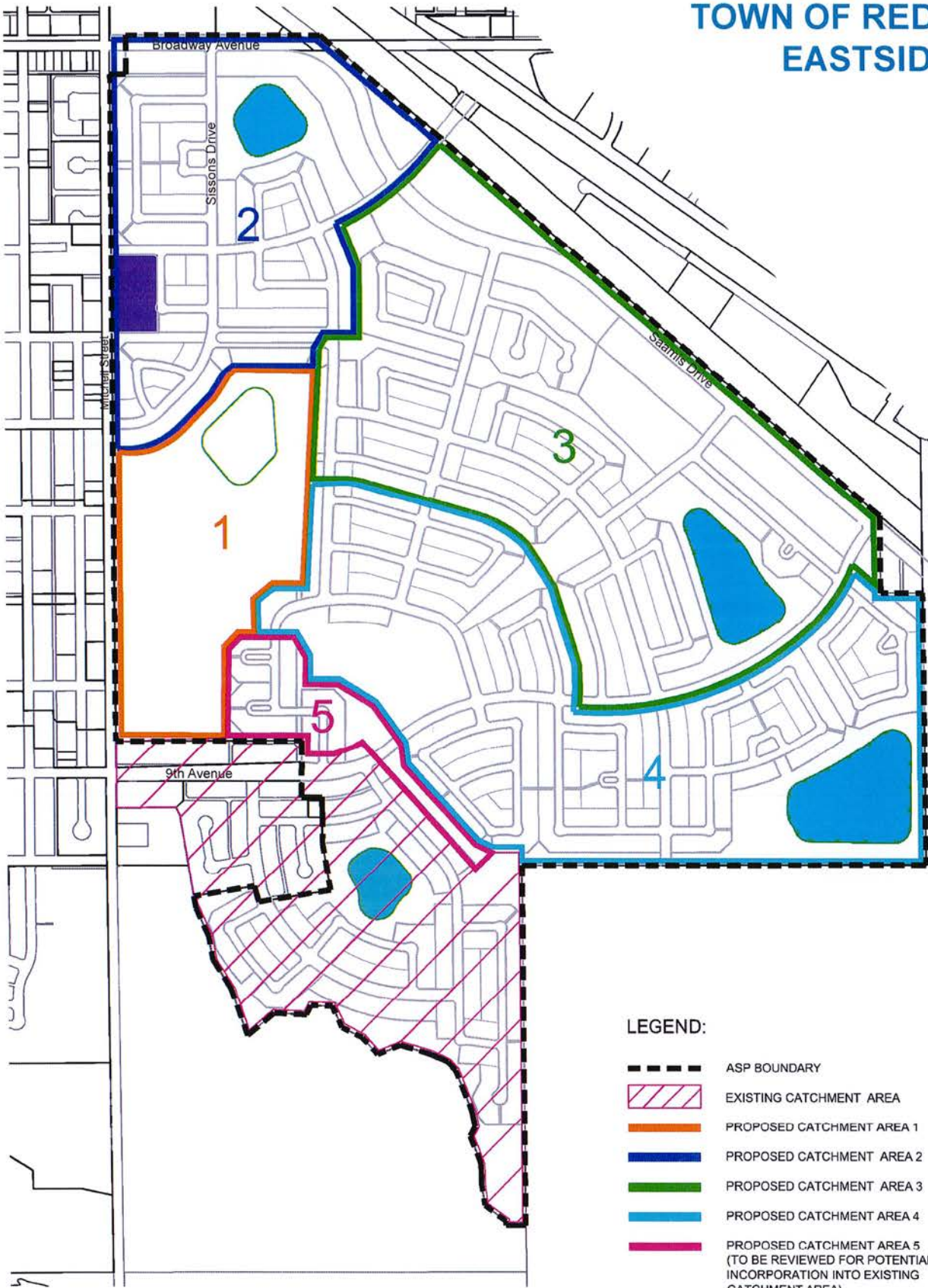
Policy 5.4.5 – A Staged Master Drainage Plan shall be submitted at the Subdivision application stage consistent with the overall design of the stormwater management system for the plan area.

- The Staged Master Drainage Plan shall be required to comply with any current or new stormwater management policies.
- Best management practices, low impact development and alternatives for stormwater quality should be assessed.
- Alternative and more cost-efficient options may be considered at the Subdivision stage.

Policy 5.4.6 – Where appropriate, the stormwater management system should be designed to operate on a gravity basis unless otherwise identified or approved by the Town of Redcliff.

Policy 5.4.7 – Stormwater facilities shall be designed to complement the open space system and associated amenities.

TOWN OF REDCLIFF
EASTSIDE ASP



- LEGEND:
- ASP BOUNDARY
 - EXISTING CATCHMENT AREA
 - PROPOSED CATCHMENT AREA 1
 - PROPOSED CATCHMENT AREA 2
 - PROPOSED CATCHMENT AREA 3
 - PROPOSED CATCHMENT AREA 4
 - PROPOSED CATCHMENT AREA 5
(TO BE REVIEWED FOR POTENTIAL
INCORPORATION INTO EXISTING
CATCHMENT AREA)



FIGURE 8
STORMWATER

5.5 Shallow Utilities

PURPOSE: The purpose of these policies is to ensure that adequate utility infrastructure is provided to service urban development throughout the ASP area.

The following shallow utilities providers operate within Redcliff:

- Gas – City of Medicine Hat
- Power – City of Medicine Hat
- Cable – Shaw
- Phone – Telus

As outlined in the 2007 FSR:

Both Shaw and Telus indicated that they would install their utilities in the same trench as the power lines. This is reflected on the street cross sections shown on drawings 01-N and 01-S.

The City of Medicine Hat Power Utility indicated the following regarding power servicing;

- *There are currently two (2) primary overhead feeds to this portion of Redcliff. These are the Redcliff feeder along Saamis Drive and the Kin Coulee feeder along Mitchell Street. (Reference drawing 08).*
- *The long-term primary feed to the eastside area will be the Redcliff feeder.*
- *The Redcliff feeder will be realigned and replaced with an underground feed as the development proceeds.*
- *There is likely capacity for the first 2-3 phases of development off the Kin Coulee feeder.*
- *3 phase power will be provided to the school site off the 9th Avenue extension as well as to the commercial land and lift station sites.*

The City of Medicine Hat Gas Utility indicated the following regarding servicing these lands;

- *An existing 150mm feeder through the site will provide service to initial phases.*
- *A 200 mm feeder is required along Mitchell Street to ultimately service the entire development.*
- *A 250 mm feeder is required along the 9th Avenue extension to service the utility development.*

Policy 5.5.1 – The location of all shallow utilities and the provision of rights-of-way and easements related line assignments should be addressed to the mutual satisfaction of the Town, the applicant and the utility companies.

Policy 5.5.2 – Utility rights of way and easements, public utility lots and road rights-of-way shall be required as determined necessary to facilitate orderly and sequential development.

Policy 5.5.3 – An applicant should be required to provide, or enter into an agreement to provide, the utility rights of way or easements necessary to accommodate the extension of shallow utilities through or adjacent to a site to allow for the servicing of a site.

Policy 5.5.4 – Shallow utility alignments may be refined at the Subdivision and Land Use Amendment stage without an amendment to this ASP.

6.0 Implementation

6.1 Intermunicipal Coordination

PURPOSE: The purpose of these policies is to ensure that the Town of Redcliff and City of Medicine Hat engage in a coordinated planning process in alignment with the Tri-Area Intermunicipal Development Plan (IDP) (Bylaw #1616-2009).

Policy 6.1.1 – No referral to the City of Medicine Hat is required at the Subdivision and Land Use Amendment stage for lands within the plan area unless required by the approval authority.

Policy 6.1.2 – Land Use and Subdivision applications should consider regional drainage, intermunicipal connectivity and transportation, local planning initiatives, interface conditions, and any other matters as mutually deemed important.

6.2 Development Phasing

PURPOSE: The purpose of these policies is to provide for a clear and effective decision making process that allows Council to make development decisions based on the coordination of growth and servicing within the ASP area.

Policy 6.2.1 – Development will occur generally as shown on Figure 9 – Development Phasing.

Policy 6.2.2 – Alternate sequencing of development may be considered without amending the ASP if appropriate servicing infrastructure is available and market conditions warrant.

Policy 6.2.3 – Traffic Impact Assessments should be undertaken over time to determine the roadway infrastructure and traffic control requirements to accommodate the additional traffic.

6.3 Subdivision Applications and Other Considerations

PURPOSE: The purpose of these policies is to establish how development targets and policy direction within the ASP will be implemented.

Policy 6.3.1 – All subdivision decisions will conform to the policies of this ASP.

Policy 6.3.2 – Minimum density requirements are to reflect the policies and knowledge at the time of each Land Use Amendment or Subdivision. The minimums identified in this ASP may not be appropriate at that time and should be adjusted as required as long as the proposed development can be serviced by the approved infrastructure.

Policy 6.3.3 – Subdivision and development of the plan area will proceed in a manner that:

- Allows for the orderly and efficient expansion of the Town,
- Does not prejudice the further subdivision and development of the subject or adjoining lands,
- Makes sufficient provision for road access and municipal utility servicing, and
- Provides for the development of a park and open space system as envisioned by this ASP.

Policy 6.3.4 – All costs for the provision of municipal infrastructure (roads, water, sanitary sewer, storm drainage) within the area being developed will be the sole responsibility of the Developer.

Policy 6.3.5 – Responsibility for the cost to provide infrastructure improvements outside of the area being developed but required to support the proposed development will be negotiated between the Developer and the Town based on the current offsite levy bylaw.

Policy 6.3.6 – Offsite levies for development within the plan area will reflect the current bylaw of the Town at the discretion of the approval authority.

Policy 6.3.7 – The adoption of this ASP does not require the Town of Redcliff to undertake any of the proposed development referred to within.

6.4 Plan Review & Amendment

PURPOSE: The purpose of these policies is to ensure that the plan remains relevant and effective over the timeframe of the ASP area.

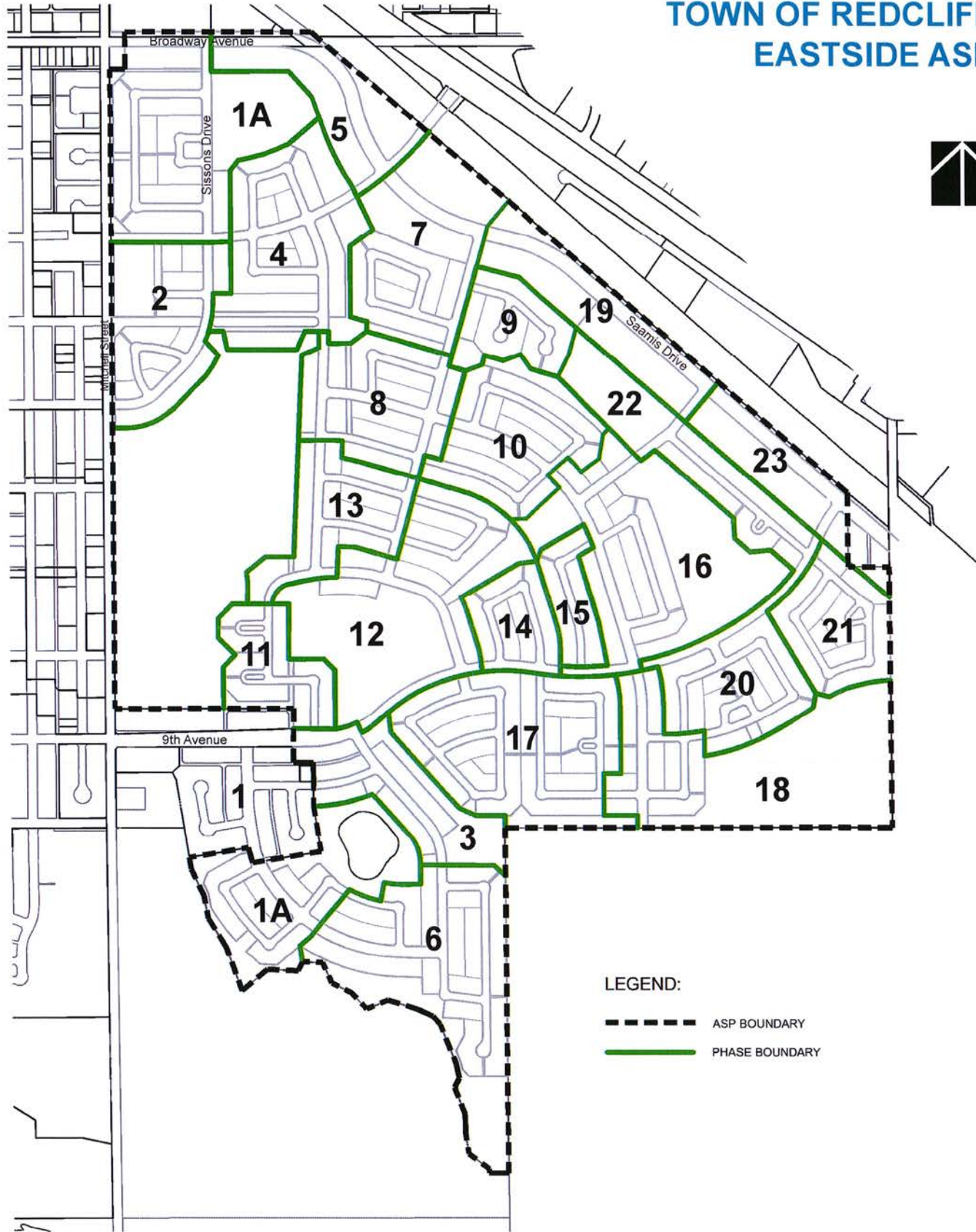
Policy 6.4.1 – An amendment to this ASP will be required where a proposed subdivision results in one or more of the following:

- Re-location or elimination of a major arterial or collector roadway (other than a minor shift in alignment)
- Significant Change in the general land use pattern (residential, commercial, industrial) shown in the ASP
- Significant change to the open space system. (Minor changes to the size and configuration of open spaces at the discretion of the approving authority, will not require an amendment.)
- Deviation from the utility servicing concepts beyond what is contemplated in the ASP

Policy 6.4.2 – This ASP will be reviewed:

- At the request of Council or in response to a request of a registered land owner within the plan area at the discretion of Council.
- Upon amendment of the Town's Municipal Development Plan to ensure consistency.
- After a period of 7-10 years from adoption to ensure the ASP is adequate.

TOWN OF REDCLIFF
EASTSIDE ASP



LEGEND:

--- ASP BOUNDARY

— PHASE BOUNDARY



FIGURE 9
DEVELOPMENT PHASING