

Town of Redcliff



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Eastside Area Structure Plan Update

2022

Table of Contents

1.0	Introduction	1
1.1	General Purpose	2
1.2	Plan Area Location	2
1.3	Policy Context	3
1.4	Community Consultation	8
2.0	Plan Area Context.....	10
2.1	Land Ownership	10
2.2	Existing Land Use	10
2.3	Environmental Constraints	11
2.4	Historical Constraints and Opportunities	12
2.5	Existing Development & Improvement Constraints	12
3.0	Vision & Principles	16
3.1	Vision	16
3.2	Principles.....	16
4.0	Development Concept.....	19
4.1	Residential	22
4.2	Commercial	22
4.3	Public Facilities	23
4.4	Public Open Space	23
4.5	Transportation	26
5.0	Servicing Strategy	28
5.1	Municipal Utilities	28
5.2	Water.....	28
5.3	Sanitary Sewer	30
5.4	Stormwater	30
5.5	Shallow Utilities	33
6.0	Implementation	35
6.1	Intermunicipal Coordination.....	35
6.2	Development Phasing	35
6.3	Subdivision Applications and Other Considerations	35
6.4	Plan Review and Amendment	36

Appendix A - Glossary

List of Tables

Table 1. Eastside ASP Land Ownership	10
Table 2. Development Concept and Population Calculations.....	19

List of Figures

Figure 1 – Eastside ASP Area.....	2
Figure 2 - Tri-Area Intermunicipal Development Plan Map, in context of Eastside ASP Area	4
Figure 3 – Zoning Designations within the Eastside ASP Area	9
Figure 4 – Site Constraints Map	15
Figure 5 – Land Use Concept.....	21
Figure 6 – Open Space & Trails Network	25
Figure 7 – Transportation Network	27
Figure 8 – Water Servicing	29
Figure 9 - Sanitary Sewer.....	31
Figure 10 - Stormwater.....	32
Figure 11 - Development Phasing	37



1.0 Introduction

The Eastside Area Structure Plan (ASP) is an update to the 2015 Eastside Area Structure Plan (Bylaw No. 1807/2015). The update creates consistency with the *Town of Redcliff Municipal Development Plan (MDP)* (Bylaw No. 1880/2019), per MDP Section 6.2.5 Policy 1, and includes previously unplanned lands owned by the Town near the golf course, and lands classified as adjacencies in the 2015 ASP.

The development concept and ASP policies reflect the vision and guiding principles

(**Section 3.0**), policy context (**Section 1.3**), community consultation (**Section 1.4**), and administration feedback from the 2015 ASP, while incorporating public feedback and the guiding principles to promote a ‘small town feel’ as per the 2019 MDP.

Plan area analyses conducted as part of the 2015 ASP, and the *Eastside Functional Servicing Report (FSR)* (April 2007) helped establish portions of the plan area context, vision and principles, development concept, and servicing strategy.



1.1 General Purpose

This ASP guides land use and subdivision decisions in the plan area. It promotes a community development pattern reflecting the desire to grow in a logical and economical manner while fostering small town feel and maintaining compatibility with adjacent areas.

As an ASP is a long-term policy document; it is expected this ASP will evolve through subsequent amendments without compromising its broad intent.

1.2 Plan Area Location

The Eastside ASP plan area, see **Figure 1**, consists of 234.1 hectares of land in Section 9-13-6-W4M, the NW ¼ of Section 4-13-6-W4M, and a piece of land within the SW plan area, across Mitchell Street within NE 5-13-6-4 (Lot 120, Blk 1, Plan 021 3235). Mitchell Street borders the plan area to the west, the Canadian Pacific Railway/TransCanada Highway #1 to the north, the City of Medicine Hat corporate boundary to the east and southeast, and a coulee leading to the South Saskatchewan River Valley to the south.

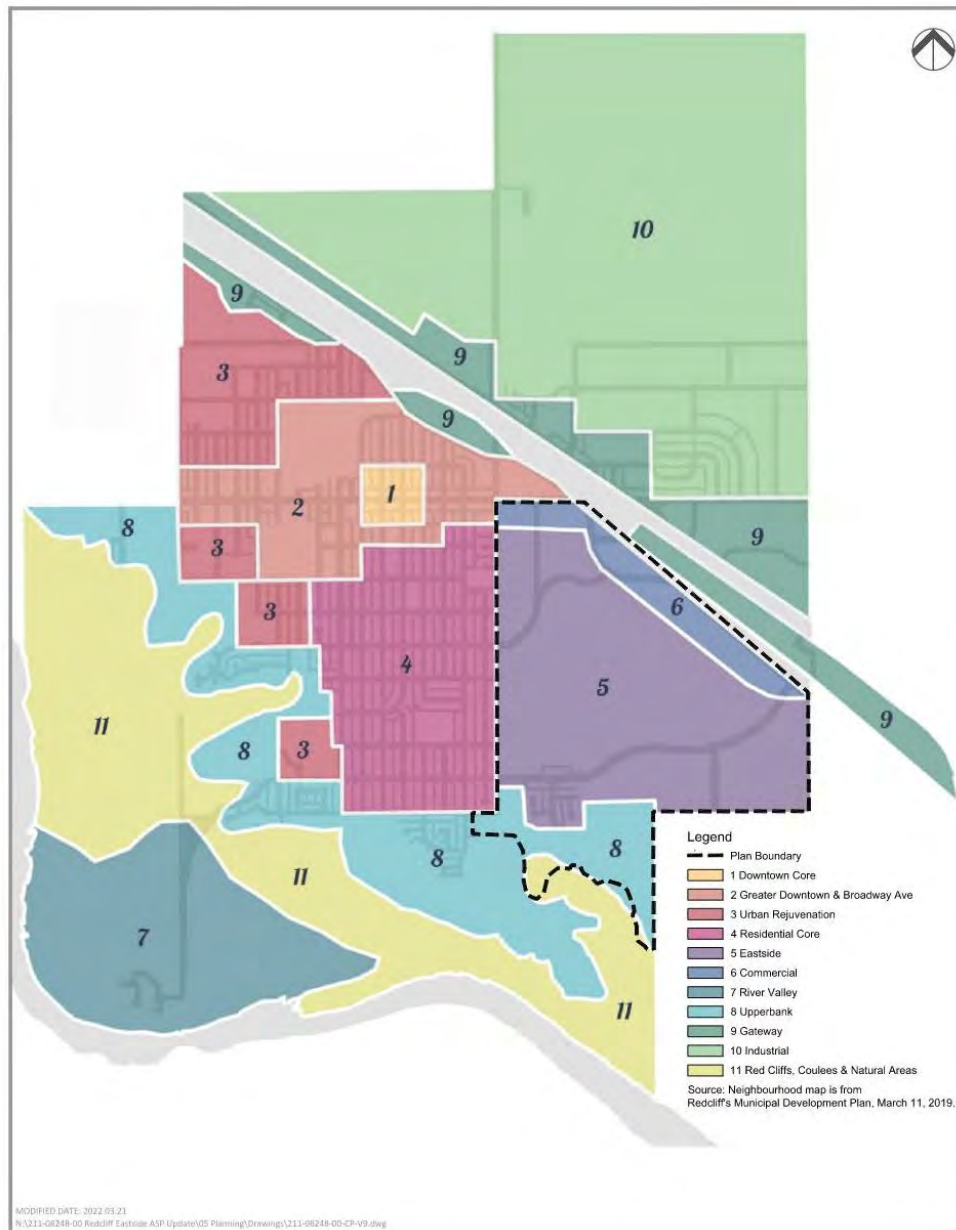


Figure 1 – Eastside ASP Area, in context with Redcliff’s Municipal Development Plan Neighbourhoods

1.3 Policy Context

The Eastside ASP has been drafted to ensure its consistency with the following relevant legislation, statutory plans, and local policies:

Municipal Government Act (MGA)

Area structure plan

633(1) *For the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may by bylaw adopt an area structure plan.*

(2) *An area structure plan*

(a) *must describe*

(i) *the sequence of development proposed for the area,*

(ii) *the land uses proposed for the area, either generally or within respect to specific parts of the areas,*

(iii) *the density of population proposed for the area either generally or with respect to specific parts of the area, and*

(iv) *the general location of major transportation routes and public utilities, and*

(b) *may contain any other matters, including matters relating to reserves, as the council considers necessary.*

The MGA stipulates adoption of an ASP does not require the municipality to undertake any of the proposed development referred to within the ASP.

South Saskatchewan Regional Plan (SSRP) (2014, amended 2017)

The SSRP, drafted in 2014, “sets the stage for growth, vibrant communities, and a healthy environment” within the South Saskatchewan watershed over the next 50 years. While SSRP policies are non-binding, statutory plans like this ASP require consistency with the SSRP.

Redcliff’s 2019 MDP provides a detailed account of how MDP policies relate to SSRP policies; therefore, by aligning with the MDP, the Eastside ASP is also consistent with the SSRP.

Tri-Area Intermunicipal Development Plan (IDP) (Bylaw 1898/2020)

Part of the Eastside ASP plan area is within 800 metres of the City of Medicine Hat (the City) – an area known as the Urban Referral (UR) Area in the Tri-Area IDP, see **Figure 2**.

The Town and WSP met with the City’s Planning & Development Department before finalizing the Eastside ASP Land Use Concept to ensure the ASP addresses the continuity of the regional roads, open space, and the interface of land uses between the Town and the City.

The Town referred the final draft of the Eastside ASP to the City before its Public Hearing, per the below policy:

3.4 IDP Referral Processes

a) *The County, Town and City shall refer all ASPs, ARPs, LUB amendment applications for lands within the IDP area to the other partner municipalities.*

Town of Redcliff Municipal Development Plan (MDP) (Bylaw #1880/2019)

The Eastside ASP closely aligns with the guiding principle, vision, goals, and objectives in the Town’s MDP.

Small Town Feel is created by...

...The look and design of the Town, which influences people’s behaviour. Clean, inviting streets and open spaces draw people outside to meet each other, interact, and visit. Well-designed buildings created a strong sense of place and convey a distinct heritage feel. The look and layout of the Town nurtures a familiarity and connection to the community, encouraging friendliness and a neighbourly atmosphere...

...The people. A small population makes it easier to become familiar with every place and every person.

The following are the relevant MDP guiding principles and policies that were used to guide the development of the Eastside ASP:

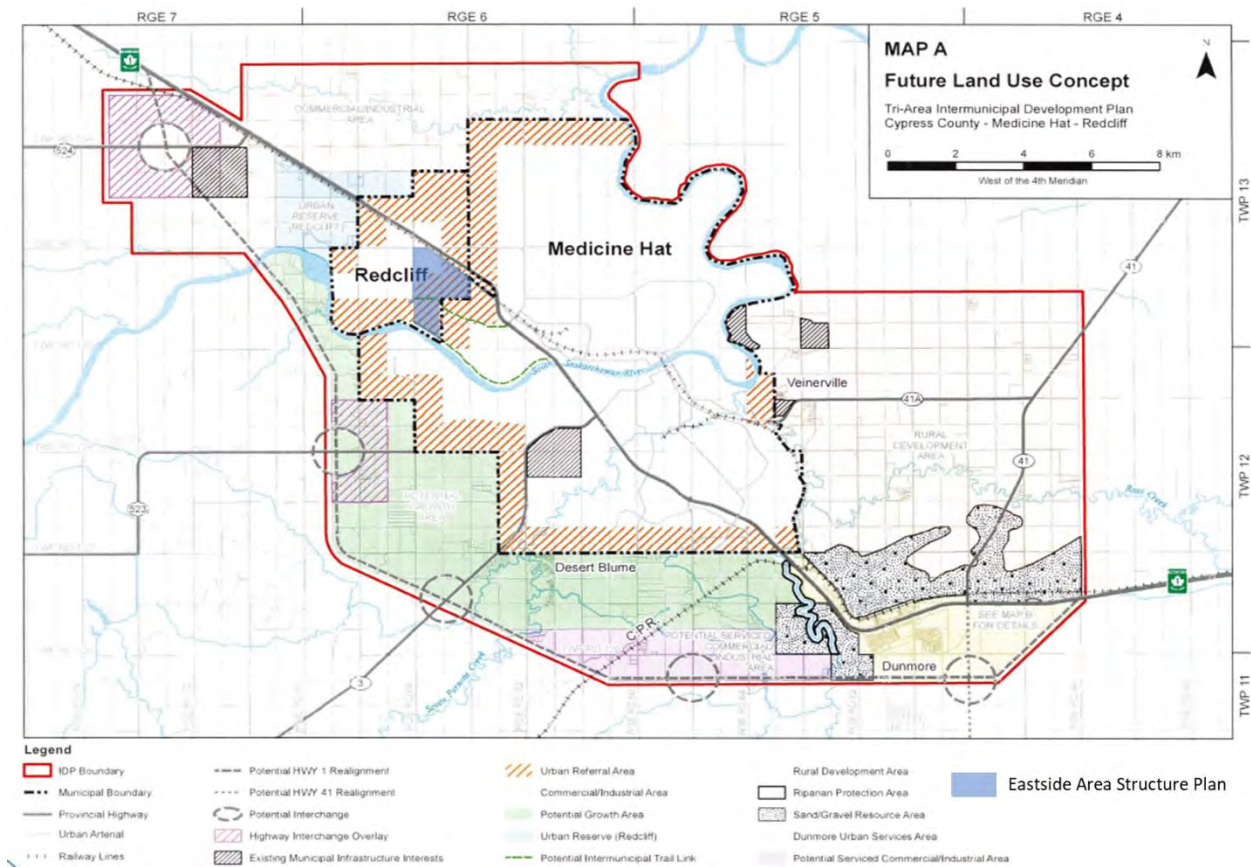


Figure 2 - Tri-Area Intermunicipal Development Plan Map, in context of Eastside ASP Area

2.3 Guiding Principles

Small Town Feel in Redcliff means...

- *The community is clean and inviting;*
- *The community is for all ages;*
- *You can easily walk anywhere with sidewalks on all streets and signage;*
- *A variety of recreational and cultural facilities are accessible to all;*
- *Beautification and greenery in public spaces eliminates starkness;*
- *The streetscape is inviting with trees, benches, lampposts, and art;*
- *Streets are safe, calm, and not too busy;*
- *Buildings are not cookie cutter, and vary in shape, age, and colour;*
- *You can get all basic goods and services within Town (doctor, groceries);*
- *The school system fosters pride and contributes to sense of community;*
- *Residential neighbourhoods have open space, yards, trees, and vegetation;*
- *Buildings do not appear “crammed” or “stacked” together;*
- *The design of chain retail stores takes into account human-scale development, shared parking, and storefronts closer to the street;*
- *Apartments and condo buildings are located in strategic areas above downtown stores, along major corridors, and as a buffer between commercial and single detached homes;*
- *Buildings demonstrate a high standard of architectural design, using materials which create a sense of place and convey Redcliff’s heritage; and*
- *Buildings are not higher than 3 to 4 storeys, and their size does not overpower the surrounding community.*

6.1.1 Community

Objective 1: Increase community pride by promoting beautification of Redcliff

Policy 3: The Town should create inviting public spaces through initiatives such as:

- *pop-up parks or events in vacant lots*
- *treed boulevards*
- *commissioned murals*

Objective 3: Preserve and promote Redcliff's cultural and built heritage

Policy 15: The Town should encourage building and public space design complementing the Town's brick manufacturing history by encouraging the use of brick in built form

Policy 17: The Town should consider naming new subdivisions, streets, and parks to reflect the history of Redcliff

6.1.3 Facilities, Services, & Infrastructure

Policy 10: The Town shall appropriately locate and plan facilities and amenities to meet future demand, with particular consideration to walkability and access to existing and future communities

6.1.6 Housing

Policy 2: The Town should encourage within proximity to locations of education, recreation, commercial, or health uses, specialized or unique forms of housing such as:

- *tiny homes*
- *barrier-free or adaptable housing*
- *senior's living*
- *resort-style living*
provided the housing is in accordance with the guiding principle, vision, and goals of the MDP.

Policy 3: The Town should promote higher density housing types, such as town houses, reflecting a small town feel

Policy 6: The Town may establish affordable housing quotas for new site and neighbourhood developments

6.1.7 Intergovernmental Cooperation

Policy 8: The Town shall use Alberta's Efficient Use of Land Implementation Tools Compendium as a guideline for efficient land development to implement Strategy 5 of the South Saskatchewan Regional Plan

6.1.8 Land Use

Policy 6: The Town shall minimize land use conflicts by designating compatible land uses ahead of future development to provide an appropriate mix of land uses

Policy 11: The Town should encourage medium and higher density developments and mixed uses in and near downtown, and along major corridors

Policy 13: The Town shall plan grid street systems in residential neighbourhoods whenever possible to promote walking and cycling

Policy 14: The Town shall support street oriented medium and high-density housing developments

Policy 18: The Town should encourage residential developments that forego front-drive garages in favour of rear-lane access to connect residents to the street

Policy 20: The Town should discourage residential community layouts that promote exclusivity and restrict access to the general public

Policy 21: Area Structure Plans shall be prepared prior to the redistricting and subdivision of greenfield areas

Policy 23: Area Structure Plans and Area Redevelopment Plans should follow the neighbourhood boundaries identified in the MDP

Policy 24: Residential Area Structure Plans and Area Redevelopment Plans should include commercial sites which service the immediate surrounding neighbourhood, but do not adversely affect residential uses

Policy 25: The Town shall ensure Area Structure Plans are created and updated in coordination with the local School Board(s) to plan for future school site allocation on land desirable for development

Policy 26: The Town shall ensure, when land is subdivided, reserve land or money

in lieu is dedicated to meet present and future needs for school sites

6.1.9 Natural Environment

Policy 13: The Town shall require developers to design new stormwater management ponds to mimic the appearance and function of natural wetlands, and act as open spaces for public enjoyment

Policy 15: The Town shall require developers to provide and implement a tree planting plan for all new developments

Policy 16: The Town should design and encourage the design of energy efficient buildings and neighbourhoods that take into account features such as:

- *shorter road lengths*
- *reduced rights of way*
- *energy efficiency*
- *renewable energy*
- *xeriscaping*
- *solar orientation*

Policy 17: The Town should require developers to complete front yard landscaping for all new residential developments

6.1.10 Parks, Recreation, & Public Spaces

Policy 4: The Town shall ensure parks are accessible for walking and biking by establishing safe street crossings and sidewalks

Policy 12: The Town should consider creating the following park and recreational amenities:

- *skate park*
- *all ages playground(s)*
- *frisbee golf course*
- *outdoor workout equipment*
- *fish pond*
- *campground*
- *community kitchen(s)*

6.1.11 Streets & Mobility

Policy 1: The Town shall introduce traffic calming measures such as roundabouts and corner bump-outs to increase safety

Policy 8: The Town shall increase the proportion of pedestrian trips by:

- *expanding the sidewalk system*
 - *expanding the trail system*
 - *creating separated sidewalks on major streets*

Policy 9: The Town shall increase the proportion of cycling trips by:

- *creating bike paths on major roads*
- *providing bike racks at all Town-owned and operated facilities*
- *pilot-testing a bike share program*

Policy 10: The Town shall expand the pedestrian system to ensure parks and public spaces are well connected

Policy 11: The Town shall design road systems to minimize travel distances and provide for easy navigation

Policy 12: The Town shall ensure Trans-Canada Highway access for residents and businesses

6.2.5 Eastside Neighbourhood

Policy 1: The Town shall update the Eastside Area Structure Plan to be consistent with the MDP

Policy 2: The Town shall work with the local school board(s) to create a school site(s) in Eastside, on land appropriate for development, as part of the Eastside ASP update

Policy 3: The Town shall require developers to design and create a variety of park and open spaces within the Eastside neighbourhood

Policy 4: The Town shall require developers to construct transportation and beautification infrastructure as part of the applicable phase of residential development

Policy 5: The Town shall require developers to construct parks and open spaces as part of the applicable phase of residential development

Policy 6: The Town shall prioritize active transportation by creating bike paths along all major corridors

Policy 7: The Town shall develop a community park and gathering space on the site of the former I-XL Brick Plant

Policy 8: The Town should encourage street-orientated medium and higher

density housing developments along major corridors

Policy 9: The Town should establish a variety of building sizes, styles, and types

Policy 10: The Town should rebrand the name of the Eastside neighbourhood to reflect the history and geography of Redcliff

6.2.6 Commercial Neighbourhood

Policy 1: The Town shall recognize the areas along and adjacent to Saamis Drive as a medium priority commercial growth area by supporting development of commercial and retail buildings

Policy 2: The Town shall update the Land Use Bylaw to allow for shared parking in commercial areas

Policy 3: The Town should encourage buildings, rather than parking lots, orientated towards the street in new commercial developments

Policy 4: The Town should encourage parking lots in new commercial developments to follow the City of Toronto Design Guidelines for Greening Surface Parking Lots (2013)

6.2.8 Upper Bank Neighbourhood

Policy 1: The Town shall conduct slope studies to determine appropriate setbacks from the coulees and South Saskatchewan River

Policy 2: The Town shall ensure appropriate development setbacks from the historic landfill, gas wells, environmentally sensitive areas, historical resources, telecommunications towers, and historic mines are established and followed

Policy 5: The Town shall ensure the layout of new subdivisions in the Upper Bank Neighbourhood complements and extends the existing trail system, and trails are constructed as part of the applicable phase of development.

7.2. Growth Management Strategy

Policy 1: The Town shall ensure orderly land development and redevelopment, optimizing the value of public development and efficient land use principles by using the minimum amount of land necessary for

new development and building at higher densities

Policy 2: The Town shall minimize, wherever possible, the costs of providing and servicing land for residential development

Policy 3: The Town shall reduce the rate of land conversion from an undeveloped state into a permanent, built environment by prioritizing contiguous growth which anticipates and responds to population growth

Policy 5: The Town shall plan, design, and locate new development in a manner that best uses and minimizes the need for new or expanded infrastructure

Policy 7: The Town shall provide decision makers, land users, and individuals with information needed to make decisions supporting efficient land use

Land Use Bylaw (Bylaw No. 1698/2011)

The majority of the Plan area within this ASP is currently designated as Urban Reserve under the Redcliff Land use Bylaw (1698/2011) Land Use District Map, see **Figure 3**. A section of land within the northwest quadrant near 4th Ave SE is dedicated to Public Service District. A small portion of land in the southeast quadrant has been formally developed and will be integrated among similar residential land uses.

The districts proposed within this ASP are consistent with the MDP and will ensure alignment with the Land Use Bylaw. Proposed land uses outlined within this ASP indicate intent only, formal land use amendments to the Land Use Bylaw are required prior to each phase of development.

The policies pertaining to the Eastside ASP study area are as follows:

111. UR Urban Reserve District

(1) Purpose:

The purpose of this district is to protect land suited for urban development from premature subdivisions and developments until development of the land can proceed in an orderly fashion consistent with the Municipal Development Plan, Intermunicipal

Development Plan and any Area Structure Plan in effect.

55. Environmental Impact Assessment

(1) An environmental site assessment may be required by the Development Authority:

(b) with respect to an application to amend this Bylaw (1698/2011) or adopt an Area Structure Plan, Area Redevelopment Plan or Conceptual Scheme.

to ensure that no development on a lot that contains contaminated soils or a lot adjacent to a lot that contains contaminated soils takes place until the contamination has been remediated as set forth in a remedial action plan.

1.4 Community Consultation

The development concept was produced in consultation with Town Council and administration, stakeholders, and the general public. The design and prescribed land uses reflect community feedback collected during the Municipal Development Plan update

process, unique conditions, constraints within the plan area, and connectivity and servicing realities pertinent to the planning process.

Community consultation events included:

- **Open House (April 13, 2022)** development concept review with members of the general public.
- **Draft ASP Circulation (XXXX, 2022)** to local utility providers, school boards, provincial agencies, and adjacent municipalities per the Tri-Area IDP.
- **Public Hearing (XXXX - XXXX, 2022)** with council and members of the general public per the Municipal Government Act.



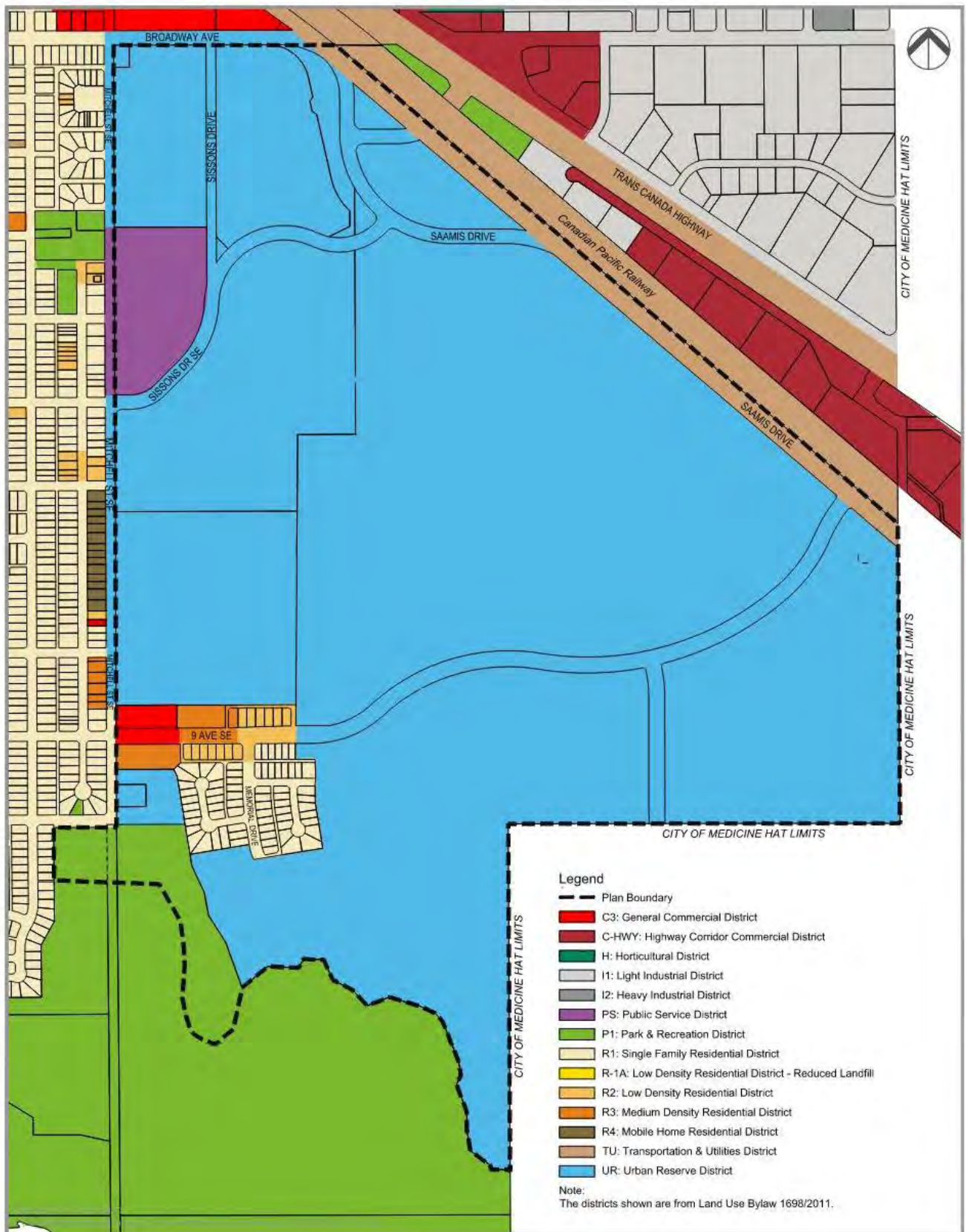


Figure 3 – Zoning Designations within the Eastside ASP Area as per the Town of Redcliff Land Use Bylaw Map

2.0 Plan Area Context

The below sections discuss the context of this ASP plan area and constraints related to the development concept, as illustrated in **Figure 4**.

2.1 Land Ownership

The Town of Redcliff currently owns ±228 hectares within Eastside ASP area, representing the majority of land in the plan area. Private landowners (three in total) own a combined total of ±16 hectares and the City of Medicine Hat owns ±0.5 hectares. Refer to **Table 1** below for further land ownership data.

Table 1. Eastside ASP Land Ownership

Landowner	Legal Descriptions of Parcels Owned	Total Land Area Owned (hectares)	Proportion of Total Plan Area Owned (%)	
Private Owner (Canning /Huttmann)	Block X, Plan 725AV	*0.146 ha.	0.06	
Private Owner (White Fox Group Ltd.)	Lot 1, Block 1, Plan 041 2179	7.04 ha.	2.87	6.35
Private Owner (White Fox Group Ltd.)	Lot 1, Block 2, Plan 041 2179	8.51 ha.	3.47	
Private Owner (New North Resources Ltd.)	Block F, Plan 7516JK	0.279 ha.	0.11	
Town of Redcliff	Lot 2, Block 2, Plan 191 1353	1.59 ha.	0.65	93.27
Town of Redcliff	Lot 1, Block 4, Plan 041 2179	0.508 ha.	0.21	
Town of Redcliff	Lot 1, Block 5, Plan 041 2179	3.53 ha.	1.44	
Town of Redcliff	Lot 1, Block 8, Plan 041 2179	5.65 ha.	2.31	
Town of Redcliff	Lot 1, Block 7, Plan 041 2179	18.93 ha.	7.73	
Town of Redcliff	Lot 1, Block 6, Plan 041 2179	72.79 ha.	29.72	
Town of Redcliff	Lot 2, Block 7, Plan 081 5877	14.95 ha.	6.10	
Town of Redcliff	Lot 120, Block 1, Plan 021 3235	5.33 ha.	2.18	
Town of Redcliff	NW;4;13;6;4	40.04 ha.	16.35	
Town of Redcliff	Lot 1, Block 10, Plan 041 2179	42.58 ha.	17.38	
Town of Redcliff	Lot 1, Block 11, Plan 041 2179	22.57 ha.	9.21	
City of Medicine Hat	Lots 1-21, Block 32, Plan 2703AV	*0.51 ha.	0.21	

*Note: Titled areas are shown unless otherwise noted, * indicates area has been calculated with CAD.

2.2 Existing Land Use

The following land use designations currently exist within the plan area, as per the Land Use Bylaw No. 1698/2011 (see **Figure 3**):

- *General Commercial (C3)* – The purpose of this district is to provide for the development of a variety of commercial uses which require locations on major traffic routes
- because of a high degree of visibility and accessibility.
- *Public Service (PS)* – The purpose of this district is to provide for retail, commercial, residential and public service developments, individually or mixed in the Downtown area of

Redcliff, to serve the Town and the surrounding area.

- *Single Family Residential (R1)* – The purpose of this district is primarily to provide for low density single-family residential development.
- *Low Density Residential (R2)* – The purpose and intent of this district is to provide for low density residential development where single detached dwelling, duplex and semi-detached dwelling housing types may be permitted.
- *Medium Density Residential (R3)* – The purpose of this district is to provide for higher density residential development in the form of fourplexes, townhouses, apartments and similar developments.
- *Urban Reserve District (UR)* – The purpose of this district is to protect land suited for urban development from premature subdivisions and developments until development of the land can proceed in an orderly fashion consistent with the Municipal Development Plan, Intermunicipal Development Plan and any Area Structure Plan in effect.
- *Public Service District (PS)* – The purpose of this district is to provide for the development of buildings and uses involving social, education, governmental and other public services.

Policy 2.2.1

Appropriate amendments to the Town's Land Use Bylaw shall be required at the time of subdivision.

Significant Adjacencies

The following sites and uses are directly adjacent to the plan area and were considered when creating the development concept by virtue of adjacency. The policies within this plan do not apply to these areas.

1. Riverview Golf Course – The golf course (700 Redcliff Way SE) is run by the Riverview Golf Club and located on Town owned land. The golf course forms an integral part of the recreational amenities offered in Redcliff. The development concept for Eastside considers access to and impact on the golf course.

2. Canadian Pacific Railway – The CP rail line runs across the northern boundary of the plan area, providing an important transportation route for the region. The development concept for Eastside considers the impact of the rail line on adjacent development.

Policy 2.2.2

No policies within this ASP shall negatively impact adjacencies.

2.3 Environmental Constraints

Please see **Figure 4** which outlines the existing environmental, heritage, and development / improvement constraints as described in this section, as well as **Sections 2.4** and **2.5** of this document.

Eastside Coulee

A coulee leading to the South Saskatchewan River Valley forms the southernmost periphery of the plan area. Geotechnical analysis confirmed the development boundary along the southern extent of the plan area. Future stormwater infrastructure development plans exist for the coulee area.

According to the *Alberta Environment and Parks and Alberta Energy Regulator Master Schedule of Standards and Conditions* (2018), development should not occur within 100 meters of the South Saskatchewan River. This constraint has been incorporated into the future Environmental Reserve (ER) established along the southwestern boundary of the ASP area as illustrated on **Figure 5**.

Biophysical Assessment

According to the *Biophysical Assessment 09-013-06 W4M AND NW ¼ 04-013-06 W4M* completed by Matrix Solutions (2021), the ASP area contains six ephemeral wet features and one ephemeral drainage, however, no wetlands were noted. Even though wetlands have not been observed, approval to remove the various ephemeral features will still be required under the *Water Act*. Pursuant to the Alberta Wetland Policy and governing directives, wetland data is only viable for three years. If *Water Act* approval applications have not been initiated before

August 2022, the waterbody review will need to be redone.

Field studies confirmed the presence of native grassland communities and areas of high rare plant potential. Additional rare plant surveys within the areas designated as having moderate and high rare plant potential are recommended prior to construction.

From a wildlife standpoint, habitat and evidence of sensitive species were noted. The variable buffers suggested to protect the observed sensitive species have been incorporated into ER areas depicted in **Figure 5**. Additional targeted wildlife studies have been recommended prior to construction for sharp-tailed grouse and snakes. Nest sweeps should also be undertaken if construction activities are to occur within sensitive avian breeding periods (i.e. March 15 to August 15 as per the *Alberta Wildlife Act*).

Policy 2.3.1

A *Water Act* approval application must be submitted to remove ephemeral features prior to subdivision. Depending on the timing of this application, a waterbody review may need to be completed.

Policy 2.3.2

Buffers to protect habitat and sensitive species of note have been incorporated within the ER designations, so they will not be impacted.

Policy 2.3.3

Prior to subdivision, additional studies shall be completed pertaining to areas of high rare plant potential and areas where sensitive species have been located (sharp-tailed grouse and snakes) and during sensitive avian breeding periods.

2.4 Historical Constraints and Opportunities

Archaeological Sites

As outlined in the *Final Report: 2008 Mitigative Excavation Results from EaOq-59 and EaOq-64 in the Redcliff Eastside*

Subdivision, conducted under Archaeological Research Permit No. 2008-110, “All construction activities, including vehicular traffic, shall avoid the site area of archaeological site EaOq 59 and the remaining site area of EaOq 64. Further studies will be required if avoidance is not feasible.”

Policy 2.4.1

All archaeological features requiring avoidance are located within the ER designation, so they will not be impacted.

General Historical Policies

To promote the historical significance of the ASP’s heritage sites.

Policy 2.4.2

Building and public space design shall complement the Town’s brick manufacturing history by encouraging the use of brick in built form.

Policy 2.4.3

Streets and parks within the ASP area should reflect the history of Redcliff, such as through the naming of streets or incorporating historical components within the ASP’s parks, such as plaques, information signage, monuments, or public art.

2.5 Existing Development & Improvement Constraints

Former East Side ASP (Bylaw No. 1266/2001) Phase One

Partially developed lands initially subdivided from a former ASP include residential and commercial lots, and a portion of 9th Avenue SE. The development concept and policies within this plan apply to the undeveloped portions of Eastside Phase 1.

Protective Services Building

From 2010 to 2011 the Town constructed a Protective Services building along Mitchell Street; expansion next to the existing building is anticipated to occur in the future. Current zoning at this location accommodates the proposed expansion without requiring a Land Use Bylaw amendment.

Medicine Hat Lands

The City of Medicine Hat owns lots 1 to 21 on Plan 273AV; 32; 1-21, currently zoned Urban Reserve (UR) and containing a well site. This ASP proposes these lands be classified as Transportation & Utilities District. Both municipalities will review future development proposals for these lands with specific consideration to the revised Eastside ASP.

Policy 2.5.1

Future land use redistricting and development of the Medicine Hat lands within the Eastside ASP area shall involve joint review by the Town of Redcliff and City of Medicine Hat.

Broadway Avenue Remembrance Trees

The Broadway Avenue Remembrance Trees encompass a line of deciduous trees along Broadway Avenue planted in remembrance of local war veterans.

Policy 2.5.2

The Remembrance Trees along Broadway Avenue shall be protected from development disturbance.

Well Sites & Associated Infrastructure

There are five active and three abandoned oil and gas wells in the plan area, and two active oil and gas wells adjacent to the plan area. An update to their status would be recommended, i.e. searching for reclamation certificates and associated documentation. It is recommended that a desktop Phase I ESA for the locations be conducted, which would include Compliance Option Checklists to evaluate drilling waste disposal.

The development concept assumes all other active wells will also obtain setback relaxations from 100 metres to 50 metres. Prior to subdivision, the Alberta Energy Regulator (AER) should review and approve the reduction of this setback. Abandoned well sites have a setback of five metres as outlined in AER's *Directive 079: Surface Development in Proximity to Abandoned Wells*.

Policy 2.5.3

The developer shall request from the Alberta Energy Regulator (AER), a relaxation for all

active well sites within the plan area from 100 metres to 50 metres prior to subdivision, and work with well owners and operators to facilitate the abandonment of gas wells and gas pipelines no longer in use.

Policy 2.5.4

A Phase I ESA shall be completed pertaining to well locations and to confirm suitability of the lands for development to the satisfaction of the approval authority.

Utility Rights of Way

There are several existing utility rights of way on the subject lands including natural gas pipelines, overhead power lines, sanitary sewer, and a fibre optic line part of the Alberta SuperNet. The development concept incorporates these existing facilities.

Policy 2.5.5

Utility rights of way shall be confirmed by land survey and setbacks shall be finalized to the satisfaction of the approval authority as a condition of subdivision.

Brick Plant Sites

There are two former brick plant sites in the plan area:

1. Redcliff Premier Brick Plant – This brick plant closed in 1967 and was demolished in 1976.
2. Redcliff Pressed Brick Plant – Construction of the historic portion of the I-XL Park at the site of the former Pressed Brick Plant has been completed and was dedicated to the Town in 2021. Additional Park area will be developed as necessary to add park amenities in coordination with additional development phases of this ASP. The development concept for this ASP should incorporate and consider the context of the Historic Park in the open space network.

Policy 2.5.6

A Phase I and Phase II ESA shall be completed for the Redcliff Pressed Brick Manufacturing Plant to confirm suitability of the lands for the development to the satisfaction of the approval authority if the 2006 ESA reports are unavailable for review.

Policy 2.5.7

A community park and gathering space has been developed on the site of the former I-XL Brick Plant. The Town will add to this park as the area develops.

Quarry Sites

There are three former quarry sites in the plan area, see **Figure 4**:

1. Premier Quarry – The Premier quarry (Provincial Mine Registration No. 0332), was last operated in 1952. The quarry was reclaimed to a broad swale draining to the east.
2. Old Quarry 7 – Located south of the Redcliff Pressed Brick Plant, Old Quarry 7 (Provincial Mine Registration No. 0379), was the original 1912 underground quarry converted in the 1920s to open pit and closed in the 1950s when New Quarry 7 opened.
3. New Quarry 7 – Located north of the Redcliff Pressed Brick Plant, New Quarry 7 was an open pit quarry in use until 2010. The quarry was reclaimed as a large bowl with a flat bottom.

As outlined in Section 5.1 of the *Geotechnical Evaluation Eastside Subdivision and Commercial* (dated to April 2007), a development setback line is recommended for both the Premier Quarry and Old Quarry 7, to a 35 degree draw angle from the vertical of the base of underground mine works, plus an additional distance of 30 metres.

Policy 2.5.8

No development shall occur on former quarry lands prior to a minimum of the completion of a Phase I ESA to the satisfaction of the approval authority as a condition of subdivision.

Policy 2.5.9

Prior to development, a Geotechnical evaluation shall occur on lands within 30 metres of the Premier Quarry and the Old Quarry to determine if setbacks are required.

Policy 2.5.10

Environmental analyses shall be completed on the quarry sites to confirm suitability of the lands for development to the satisfaction of the approval authority.

Former Lagoon Site

As outlined in Section 9.0 of the *Phase I Environmental Site Assessment Eastside Subdivision NW¼ SEC. 4 & SEC. 9-13-6-W4M, Redcliff, Alberta* (dated to February 2006), there is concern of contamination on the former lagoon site requiring additional investigation to assess potential soil contamination.

As outlined in Section 5.3 of the *Geotechnical Evaluation Eastside Subdivision and Commercial* (dated to April 2007), “AMEC does not believe the former usage of the site as an open field sewage effluent disposal area will negatively impact the future residential subdivision.”

Since there was no information available from the Town regarding the decommissioning of the sewage lagoon, a Phase II ESA is recommended.

Policy 2.5.11

A Phase II ESA shall be completed on the lagoon site to ensure no biological and chemical impacts are present to confirm suitability of the lands for development to the satisfaction of the approval authority.

Geotechnical

Upon completion of the desktop study, the geotechnical consultant may potentially recommend additional boreholes to confirm the soil profile and clarify geotechnical recommendations; however please note that the 2007 AMEC Geotechnical Report included 87 boreholes for the same project area for a proposed subdivision with both residential and commercial buildings, stormwater ponds and roads and there are also other less relevant geotechnical reports available for review by EnviroGeo Testing (2001) and Thurber (2005). Therefore, a substantial amount of geotechnical information exists.

Policy 2.5.12

Before the approval of a rezoning and subdivision, the geotechnical consultant shall review the geotechnical studies and complete a desktop study for the purposes of recommending the next steps towards a rezoning and subdivision.

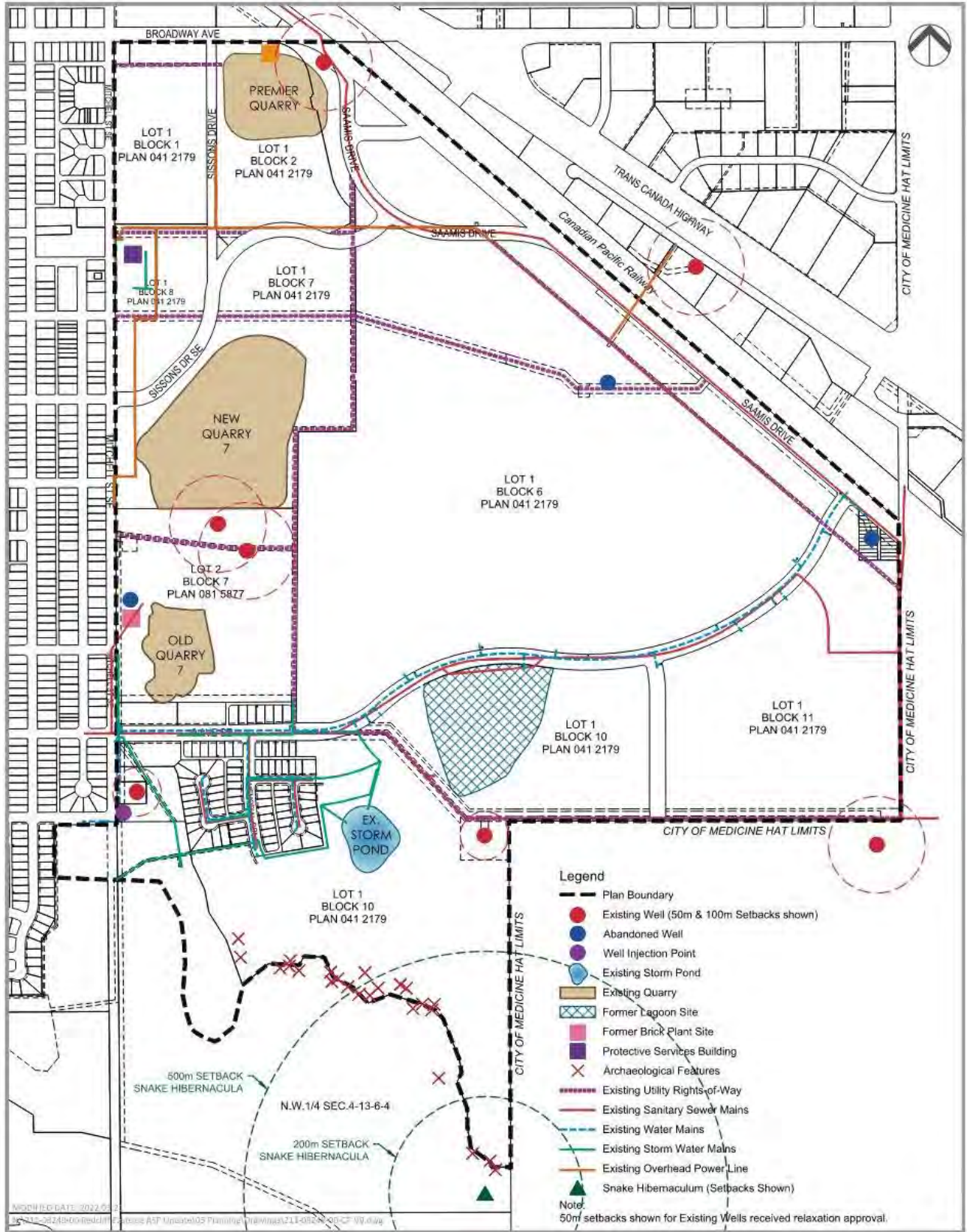


Figure 4 – Site Constraints Map

3.0 Vision & Principles

3.1 Vision

The Eastside ASP's land-use concept is comprised primarily of residential development, with commercial development located along Broadway Avenue and Saamis Drive. Residential development within the ASP will be comprised of low-density residential located within the central areas of the ASP, with medium and high density residential, including street-oriented townhomes, strategically located along main transportation corridors such as 9 Avenue SE, Sissons Drive SE, and part of Memorial Drive.

This land-use concept has been created in alignment with the MDP (Bylaw 1880/2019).

In addition, the Eastside ASP builds on the below opportunities for the three 'Neighbourhoods' as outlined in the MDP located within the study area (see **Figure 1**) and provides direction as to how they should develop into the future.

Neighbourhood 5 – Eastside

Opportunities – Eastside is a blank slate as a major future residential growth area.

Future State – Eastside is a medium priority residential growth area in Redcliff for accommodating future population growth. Low density housing is most prevalent, while medium and high-density residential developments are located on, or have good access to, major corridors. A grid-based street pattern in Eastside and continued street names from the Residential Core create continuity and a seamless transition between the neighbourhoods on both sides of Mitchell Street, perpetuating the small-town feel.

Neighbourhood 6 – Commercial

Opportunities – The Commercial neighbourhood presents an opportunity to expand services and retail types in Redcliff.

Future State – The Commercial neighbourhood is the medium priority commercial growth area in Redcliff. This neighbourhood accommodates larger commercial buildings and chain retailers, however the area will be designed so that residents can easily and safely walk or bike to commercial development from the area's residential areas. The area's commercial will also be designed with a distinct neighbourhood character that promotes a small-town feel.

Neighbourhood 8 – Upper Bank

Opportunities – There are undeveloped areas of the Upper Bank Neighbourhood that may be suitable for new residential subdivisions along the coulees.

Future State – Redcliff's existing Upper Bank residential neighbourhoods maintain their character of single detached homes, coulee views, and trails.

3.2 Principles

The following principles have guided the development of this ASP, stemming from the MDP's overarching 'small town feel' principle:

Strong Community Identity

Eastside's expresses its identity through its historic features which become focal points for public and open spaces in the development concept. The historic significance of the two I-XL Brick Plants within the plan area create strong links to Redcliff's history. I-XL's development of an interpretive park on the former Redcliff Pressed Brick Plant site is the foundation of an extensive open space pattern which will form the eventual future geographic 'centre' of Town. The open space network integrates with a grid-based street system to reflect small town feel, while connecting Eastside to existing development in the Town.



Complete Community

Residents of Eastside are part of a complete community with convenient access to a school site, parks and open spaces, recreational amenities, commercial retail and services, and areas of employment. Clustered and accessible community amenities promote small town feel. Eastside offers options for walking and cycling throughout the community, promoting a healthy balance of mobility choices. The abundance of community amenities in Eastside allows residents of the neighbourhood, and Redcliff as a whole, to live, work, and play within Town.

Connectivity

The development concept within this ASP creates a framework for a compact and lively community that promotes walking, cycling,

and convenient vehicle access to public areas and community amenities and services through a grid-based street system. The street network offers access through the community and to adjacent established areas in the Town and undeveloped lands in the neighbouring City of Medicine Hat. Residential development logically extends existing land uses west of Mitchell Street and strategic connections provide integration with the existing Town fabric.

Housing Diversity

This ASP encourages housing diversity to accommodate a variety of different incomes and lifestyles. While the predominant form of housing in the plan area is single detached dwellings, high-density housing types along major streets and near service areas include

semi-detached housing, townhouses, and apartment-style development. The Eastside ASP also supports specialized and unique forms of housing, such as senior's residences. As per the MDP, this ASP promotes street-oriented housing to promote small town feel and interaction amongst neighbours.

Commercial Vitality

Commercial areas within this ASP are consistent with the Municipal Development Plan by supplying both neighbourhood and larger-scale commercial development in an intention to service the needs of local residents and beyond. Existing land use in the first phase of development (from Bylaw No. 1266/2001) accommodates neighbourhood commercial facilities in the southwest part of the plan area, while land in the north part of the plan area supports larger commercial developments. The ability to easily and safely walk or bike from nearby residential areas to commercial developments is a key community feature. Commercial developments are located adjacent to higher-density residences in Eastside to emphasize user-friendliness by promoting pedestrian and bicycle, along with vehicular access. Eastside's commercial developments have human-scale in mind to promote walking and a distinct neighbourhood character that perpetuates small town feel.

Efficient Use of Land

The development concept reflects a concerted effort to create efficient land use with a neighbourhood design that enhances connectivity and efficient servicing networks – reducing capital and operating costs for lands within the plan area. Eastside's design reflects the Land Use and Growth Management Strategy policies of the MDP by incorporating shorter road lengths, reduced rights of way, and an orderly and contiguous development phasing pattern. This ASP maximizes the developable land area by encouraging higher density housing along key corridors and next to community amenities and locating parks and open spaces on lands with development constraints.



4.0 Development Concept

The development concept provides a grid-based street system allowing residents to access community amenities through direct roadway and pathway connections. Public open spaces and the school site serve as the central social focus of the plan area, creating an environment for a healthy and thriving community.

Figure 5 illustrates the general land use pattern proposed for the Eastside ASP and includes approximate locations of open space and utility corridors and general collector and arterial alignments. Detailed design of local standard roadways and specific lots will be determined at the time of subdivision to the satisfaction of the approving authority.

Development areas are approximate only and represent the intent of the plan to supply 10% reserve dedication and accommodate a minimum net residential density of 12.3 units per hectare (5 units per acre). Given the long-term buildout of Eastside ASP area, changing demographics, market conditions, and the uncertainty associated with specific areas of the plan (where previous activities may impact developability), it is likely the neighbourhood concept will be revised over time.

Development statistics are outlined below in **Table 2**. The large amount of non-developable open space in Eastside represents undevelopable areas and those constrained by utility easements or setbacks.

Table 2. Development Concept and Population Calculations

	Area (ha)	%GDA
GROSS AREA	234.10	
Quarry #7	23.70	
Premier Quarry	3.40	
Environmental Reserve	13.65	
Pipeline & Utility Right-of-Way	6.57	
GROSS DEVELOPABLE AREA	186.78	100.0
Municipal Reserve - School/Park	4.55	2.4
Municipal Reserve / Parks	6.17	3.3
Stormwater Management Facilities	13.04	7.0
Walkways	0.35	0.2
Circulation (Roads and Lanes)	49.25	26.4
NET DEVELOPABLE AREA	113.42	60.7
Non-Residential Land Use	Area (ha)	
Commercial	26.30	14.1
Fire Hall / RCMP	1.20	0.6
Public Utility Lot	0.40	0.2

Public Service	1.55	0.8
Total	29.45	15.8

Residential Land Use	Area (ha)	Units/ha	Units	People/Unit	Population	% GDA
Low Density Residential	66.00	20	1320	2.80	3696	35.3
Street-Oriented Townhouse	5.00	40	200	2.80	560	2.7
Medium Density Residential	7.00	40	280	1.80	504	3.7
Mixed Use	1.45	50	72	1.80	129	0.8
High Density Residential (Seniors)	1.95	75	146	1.50	219	1.0
High Density Residential (Apartment)	2.57	75	192	1.50	288	1.4
Total	83.97		2210		5396	45.0

STUDENT GENERATIONS

Public School Board	1104
Elementary School	574
Junior High School	243
Senior High School	287
Separate School Board	308
Elementary School	176
Junior High School	88
Senior High School	44
	1412

Student Factors:

Public School Board (Elementary 0.26/unit, Junior High 0.11/unit, Senior High 0.13/unit)

Separate School Board (Elementary 0.08/unit, Junior High 0.04/unit, Senior High 0.02/unit)

Net Developable Area = Gross Area – Non-Developable Open Space

*Development Statistics rounded to the nearest: hectare, half percent, and hundred persons

**Quarries and well sites which have restrictions on development. Should areas identified in this table as “non-developable open space” be deemed developable, the net developable area and appropriate land use areas shall change accordingly. An amendment to this table will not be required as long as the full 10% reserve dedication is provided for the additional developable lands.

***Low, medium, and high density residential does not refer to a specific land use district in the Town of Redcliff Land Use Bylaw but does refer to density targets.

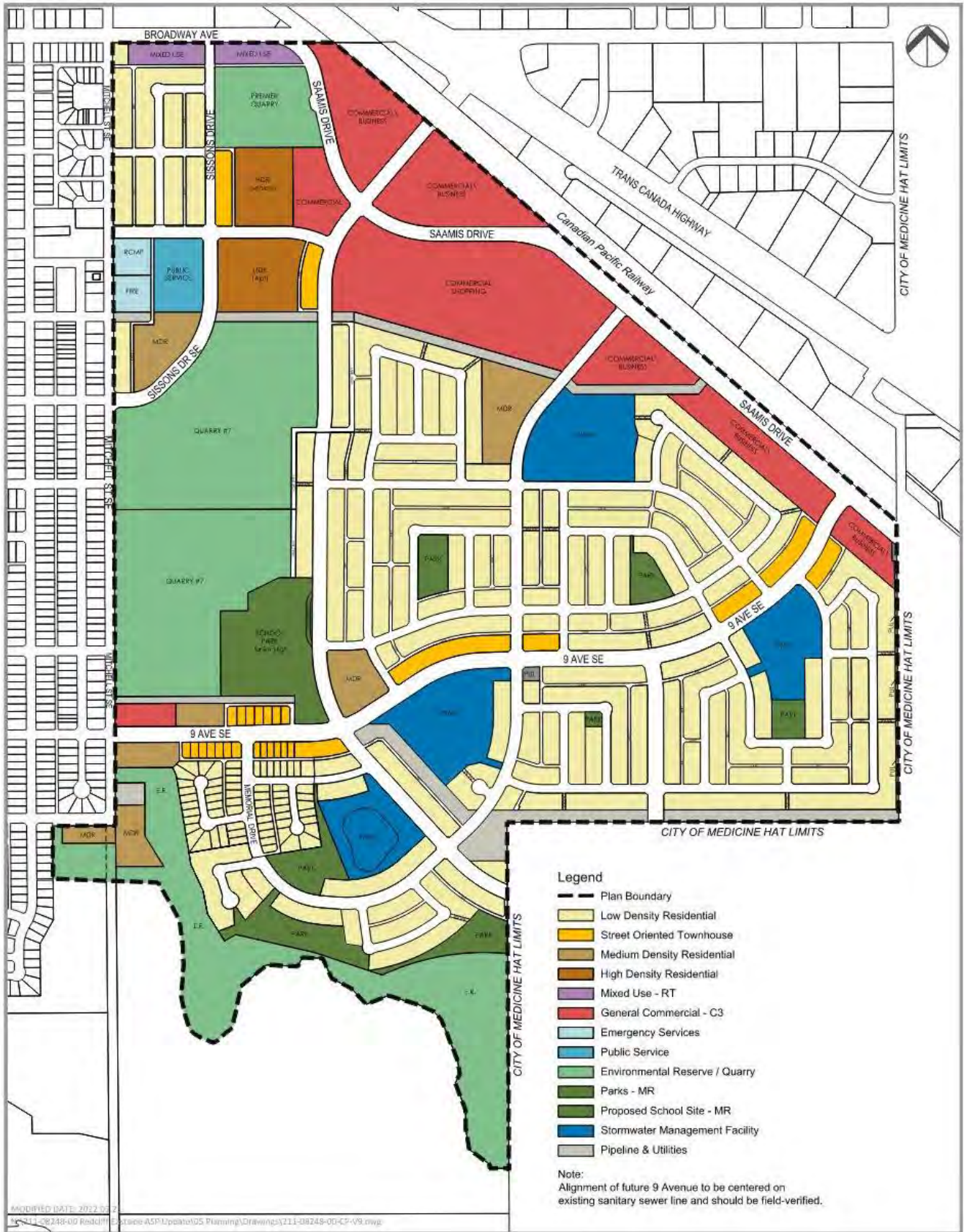


Figure 5 – Land Use Concept

4.1 Residential

PURPOSE: Residential policies ensure residential development occurs within an appropriate density range to promote small town feel and efficient use of land while maximizing servicing efficiencies and reflecting the vision and principles of this ASP, while maintaining compatibility with adjacent current and future proposed land-uses.

Policy 4.1.1

Low, medium, and high-density residential development shall be directed to the areas shown on **Figure 5 – Land Use Concept**.

Policy 4.1.2

The minimum residential required density within the plan area shall be 12.0 units per gross developable hectare (5.0 units per acre).

Policy 4.1.3

Low, medium, and high-density residential development shall be consistent with the definitions in the Municipal Development Plan and this document.

Policy 4.1.4

Medium and high-density residential development shall be directed to areas close to public open space and commercial development with primary access to the arterial road system.

Policy 4.1.5

Street-oriented medium and high-density residential development shall be directed along major streets within the plan area.

Policy 4.1.6

A slope setback study shall be conducted before residential development occurs near the top of the coulee escarpment.

Policy 4.1.7

Residential building and development shall encourage variety of building styles, sizes, and types.

Policy 4.1.8

Residential building and development shall maintain small town feel through consistent

character for the lands between the street and house and between houses, front yard setbacks, the use of land in corner and side yards, parking location and access, the ratio of driveway width to lot width, and front door location.

Policy 4.1.9

The Town should implement quotas for the establishment of affordable housing options within the residential portion of the ASP area.

4.2 Commercial

PURPOSE: Commercial policies provide commercial development along the north boundary of the plan to accommodate market demand, create a complete community, and increase the variety of goods and services available to existing and future residents.

Policy 4.2.1

Commercial development shall be directed to areas along and adjacent to Saamis Drive as shown on **Figure 5 – Land Use Concept**.

Policy 4.2.2

The location and size of specific commercial sites shall be determined during the subdivision process.

Policy 4.2.3

Commercial development shall be arranged in a manner that maximizes pedestrian and bicycle accessibility from adjacent high density and nearby medium and low-density residential development by orienting building entrances towards the street and pedestrian and cyclist routes, rather than parking lots.

Policy 4.2.4

Parking lot areas for commercial development shall be minimized by implementing shared parking regulations.

Policy 4.2.5

Commercial development shall be provided in a manner that minimizes the potential impact on adjacent properties. At the discretion of the approval authority, this may include building orientation and placement to alleviate privacy/noise concerns, architectural

treatment, landscaping, and screen fencing to reduce visual impact.

Policy 4.2.6

Where possible, commercial buildings, rather than parking lots, shall be oriented towards the street.

Policy 4.2.7

The Town should encourage parking lots in new commercial developments within the ASP area to follow the City of Toronto Design Guidelines for Greening Surface Parking Lots (2013).

4.3 Public Facilities

PURPOSE: Public facility policies support developments which house essential public services and allow the public to gather, serving both residents of Eastside and the greater Redcliff community. Public facilities include schools, churches, recreation and cultural buildings, protective services buildings, and Town facilities.

Policy 4.3.1

A 0.5 hectare site has been identified adjacent to the existing Protective Services building and shall be reserved for future expansion.

Policy 4.3.2

The remainder of the public space lands adjacent to the protective services building and future building expansion shall be rezoned to an appropriate residential use during the subdivision process.

Policy 4.3.3

A 4.0-to-5.0-hectare school site has been provided, as shown on **Figure 5 – Land Use Concept**. The school site shall be dedicated as Municipal Reserve as part of the required reserve obligation.

Policy 4.3.4

The Town should consider conducting a feasibility study in order to determine a future location for a recreational facility.

Policy 4.3.5

The development of a 'shared' recreational facility and school site shall be considered to

make more efficient use of recreational developments.

Policy 4.3.6

The ASP's recreational facilities will be accessible by the area's street network and multi-use pathway network.

4.4 Public Open Space

PURPOSE: Public open space policies provide direction for the dedication and development of reserve lands for parks, open space, natural areas, and trails within the plan area to meet the active and passive recreational needs of residents throughout Redcliff. Reserve lands will be used to create a variety of park spaces and natural park areas throughout the plan area and next to the coulees. Multi-use pathways are located throughout the ASP area to provide access to the area's parks and open spaces. The location of these pathways and parks considered linkages to adjacent areas as per the City of Medicine Hat Municipal Development Plan.

Public open spaces include natural areas, active and passive parks, storm ponds, and trails. The Open space land use category includes areas where development is not likely to occur due to physical constraints or previous land use activities. Lands not suitable for development will either remain under private ownership or be dedicated as ER or Public Utility Lots. Developable areas will be subject to the required 10% reserve dedication.

Policy 4.4.1

The public open space system and trail network shall follow the general outline shown on **Figure 6 –Open Space & Trails Network**.

Policy 4.4.2

The construction of trails within the Eastside ASP area shall be constructed as part of the applicable phase of development.

Policy 4.4.3

Municipal Reserve should be dedicated as reserve land in the full amount owing during the subdivision process per the Municipal Government Act.

Policy 4.4.4

Prior to land use approval, a reserve analysis shall be submitted to determine the amount of reserve owing and the allocation of reserve for the ownership area.

Policy 4.4.5

Natural features that qualify as ER per the Municipal Government Act shall be dedicated as Environmental Reserve land.

Policy 4.4.6

Natural features that qualify as Conservation Reserve per the Municipal Government Act may be dedicated as Conservation Reserve at the time of subdivision at the discretion of approval authority.

Policy 4.4.7

The amount of Municipal Reserve dedication shall be ten percent of the gross developable area contained within the proposed subdivision or ownership area per the Municipal Government Act.

- Municipal Reserve may be dedicated as cash-in lieu when subdivision occurs in non-residential areas, at the discretion of the approval authority.
- Deferred Reserve may be provided where reserve is proposed in future phases to accommodate future neighbourhood amenities, illustrated in a shadow plan, at the discretion of the approval authority.

Policy 4.4.8

Multi-use trails shall be constructed along the west side of the Road A, the east side of Sissons Drive, the south side of 9th Avenue SE and along the southwest side of Saamis Drive, as determined based on discussions with the Town.

Policy 4.4.9

Multi-use trails shall be constructed along the coulee edge, with their location confirmed by a slope setback study prior to development.

Policy 4.4.10

Recreation and open space amenities recommended in the Municipal Development Plan and Parks and Recreation Master Plan shall be considered where appropriate in the plan area.

Policy 4.4.11

The I-XL Historic Park is a focal point of the plan area. The Town will add to the park by adding trails and recreational facilities and incorporate common neighbourhood park features, such as signage and lighting as the area develops. Connections to the park will also be developed to the ASP's multi-use pathway systems.

Policy 4.4.12

The Developer shall be responsible for designing and constructing parks, public open spaces, and similar beautification infrastructure within the area being developed, including providing a tree planting plan at the subdivision stage.

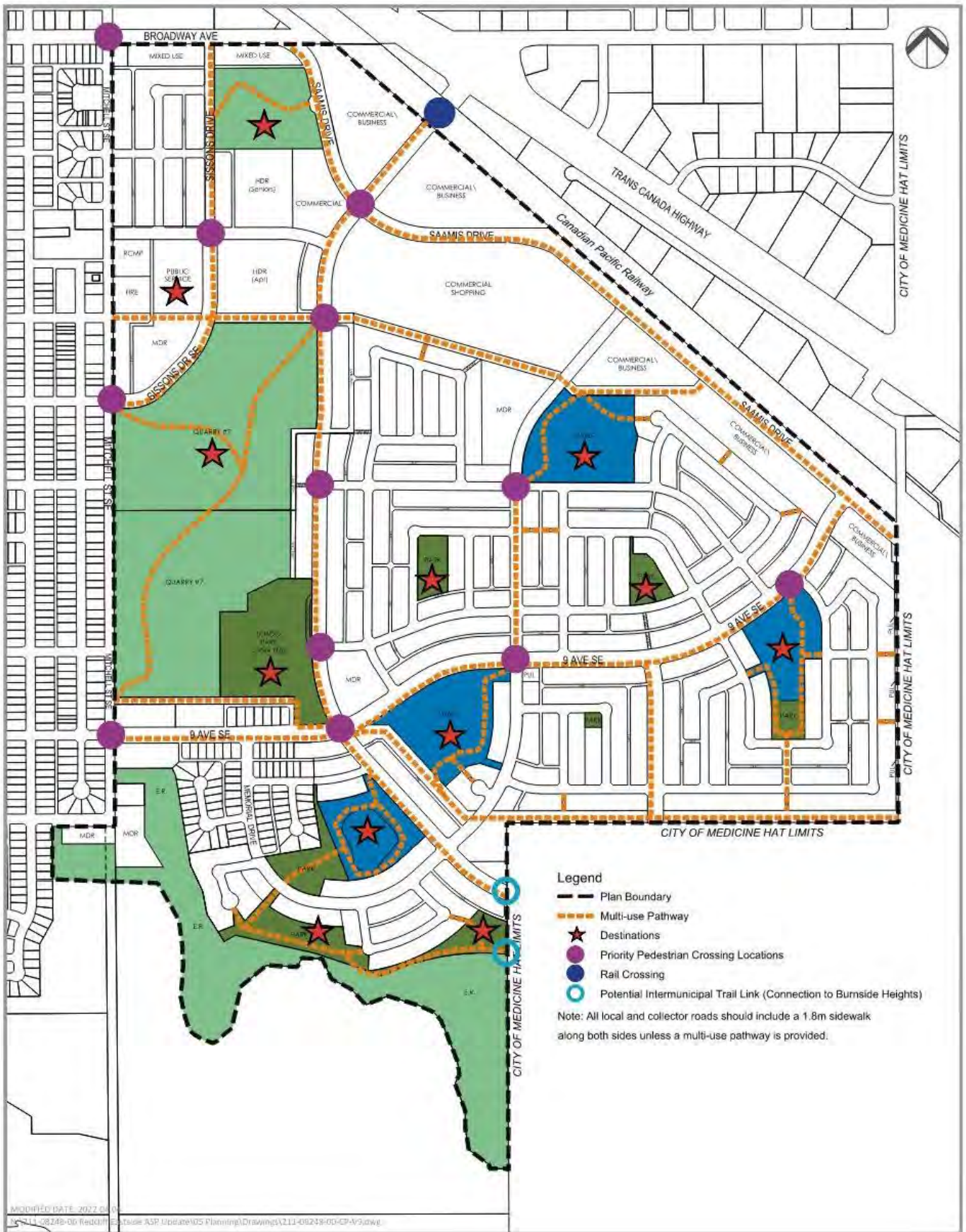


Figure 6 – Open Space & Trails Network

4.5 Transportation

PURPOSE: Transportation policies ensure the street and pathway network within the plan area allows residents to travel through and around Eastside and access community amenities by all modes of travel. Transportation policies also ensure Redcliff's existing transportation network extends into the plan area as subdivision and development occur.

The re-alignment of Broadway Avenue / Saamis Drive is identified as a future requirement to address technical roadway standards. The proposed alignment was reviewed at a conceptual level to ensure adequate intersection spacing with respect to the existing railway and Trans-Canada Highway; however, future development may trigger the requirement for a Transportation Impact Assessment in relation to Trans-Canada Highway crossings outside this ASP boundary. Further studies will be required at the time of development to address specific technical requirements, capacities and relocation of existing utilities. In addition, this ASP's road network design considered future connections into the City of Medicine Hat's Burnside Heights ASP.

The following policies ensure development of a street network that promotes safe and efficient travel in and through Eastside for pedestrians, cyclists, and vehicles.

Policy 4.5.1

Minor revisions to the alignment of major arterials or collector roadways, as shown in **Figure 7 – Transportation Network**, shall not require an amendment to this ASP.

Policy 4.5.2

Revisions to local roadways and the addition of lanes shall be permitted without an amendment to this ASP, at the discretion of the approval authority.

Policy 4.5.3

Front drive access shall not be encouraged for those houses that are located along a back lane or major roadway, however will be at the discretion of the approval authority.

Policy 4.5.4

The street layout shall minimize the number of local road intersections along collector roads.

Policy 4.5.5

Commercial and multi-family driveways along Broadway Avenue / Saamis Drive should be minimized; shared driveways should be used and opposing driveways should be aligned when possible.

Policy 4.5.6

Collector and local roads shall be designed and constructed in a manner consistent with Town Standards at the time of development.

Policy 4.5.7

Improvements at intersections along arterial roadways may be required as development occurs. The design of these intersection improvements shall be consistent with Town Standards and approved functional plans at the time of development.

Policy 4.5.8

The narrowing of 9th Ave SE shall occur as outlined in the *2010 Redcliff Roadway System Master Plan* or subsequent updates.

Policy 4.5.9

Traffic calming measures shall be considered throughout the plan area to discourage short-cutting traffic and mitigate potential noise.

Policy 4.5.10

A separated cycling network shall be constructed along major streets and connect to public and commercial nodes in the plan area to encourage alternate modes of travel.

Policy 4.5.11

Where multi-use pathways are not provided, separated sidewalks shall be constructed along all major streets, local and collector roads, and connect to public and commercial nodes in the plan area to encourage alternative modes of travel.

Policy 4.5.12

Traffic Impact Assessments should be undertaken over time, as needed, to determine the roadway infrastructure and traffic control requirements to accommodate additional traffic.

Policy 4.5.13

Active transportation routes shall be incorporated along every major corridor within the ASP area.

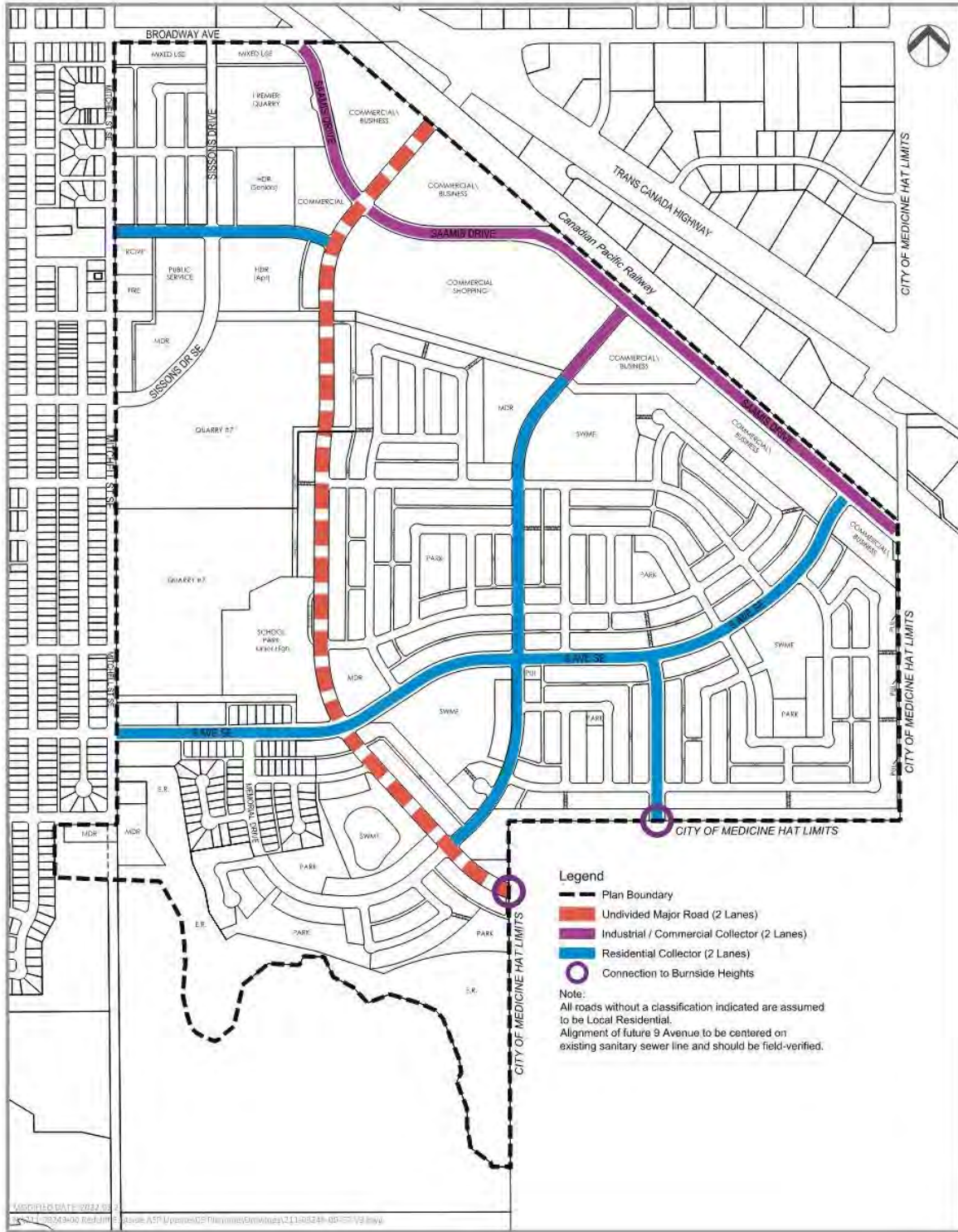


Figure 7 – Transportation Network

5.0 Servicing Strategy

Servicing strategy policies reflect the contents of the *Eastside Functional Servicing Report (2007)* (FSR) and the revised development concept within this ASP.

The 2007 FSR will likely be updated from time to time over the life of this ASP. The intent of the servicing policies are to provide adequate flexibility to ensure consistency with current servicing requirements as development occurs. Updates to the 2007 FSR should not trigger amendments to this ASP.

Where servicing capacity is currently not in place, the below policies shall require acceptable servicing strategies prior to development.

5.1 Municipal Utilities

PURPOSE: The purpose of these policies is to provide overarching policies for the alignment of municipal utilities with future development within the plan area.

Policy 5.1.1

Development in the plan area shall be serviced with municipal water, sanitary sewer, and a stormwater system.

Policy 5.1.2

To provide servicing for land within the ASP area, cost should be minimized, wherever possible.

Policy 5.1.3

The provision and capacities of the water distribution mains and feeder mains, sanitary sewer mains and trunks, and stormwater mains and trunks should be in accordance with the Town standards and based upon the current FSR.

Policy 5.1.4

Ensure that collaboration occurs with the City of Medicine Hat prior to development in order to adequately plan for future servicing requirements.

Policy 5.1.5

Municipal utility alignments may be refined during the subdivision process without an amendment to this ASP.

Policy 5.1.6

Prior to subdivision, the developer shall submit studies and information determined necessary to identify the location and alignment requirements for municipal utilities within the development.

Policy 5.1.7

Municipal utilities should be aligned to avoid negative impacts on Open Space and ER lands.

Policy 5.1.8

The potential realignment of services within the current Saamis Drive right-of-way shall be determined at the time of the corridor study or at the subdivision stage.

5.2 Water

PURPOSE: The purpose of these policies is to provide for the design and development of a suitable and efficient water distribution system. **Figure 8 – Water Servicing** illustrates the existing and proposed water distribution system.

Policy 5.2.1

The water distribution system should be designed to minimize its impact on natural features and adequately, safely, and efficiently serve the full build out of the plan area.

Policy 5.2.2

Proposed distribution systems and offsite requirements shall be reviewed, and if required, modeled, during the subdivision process.

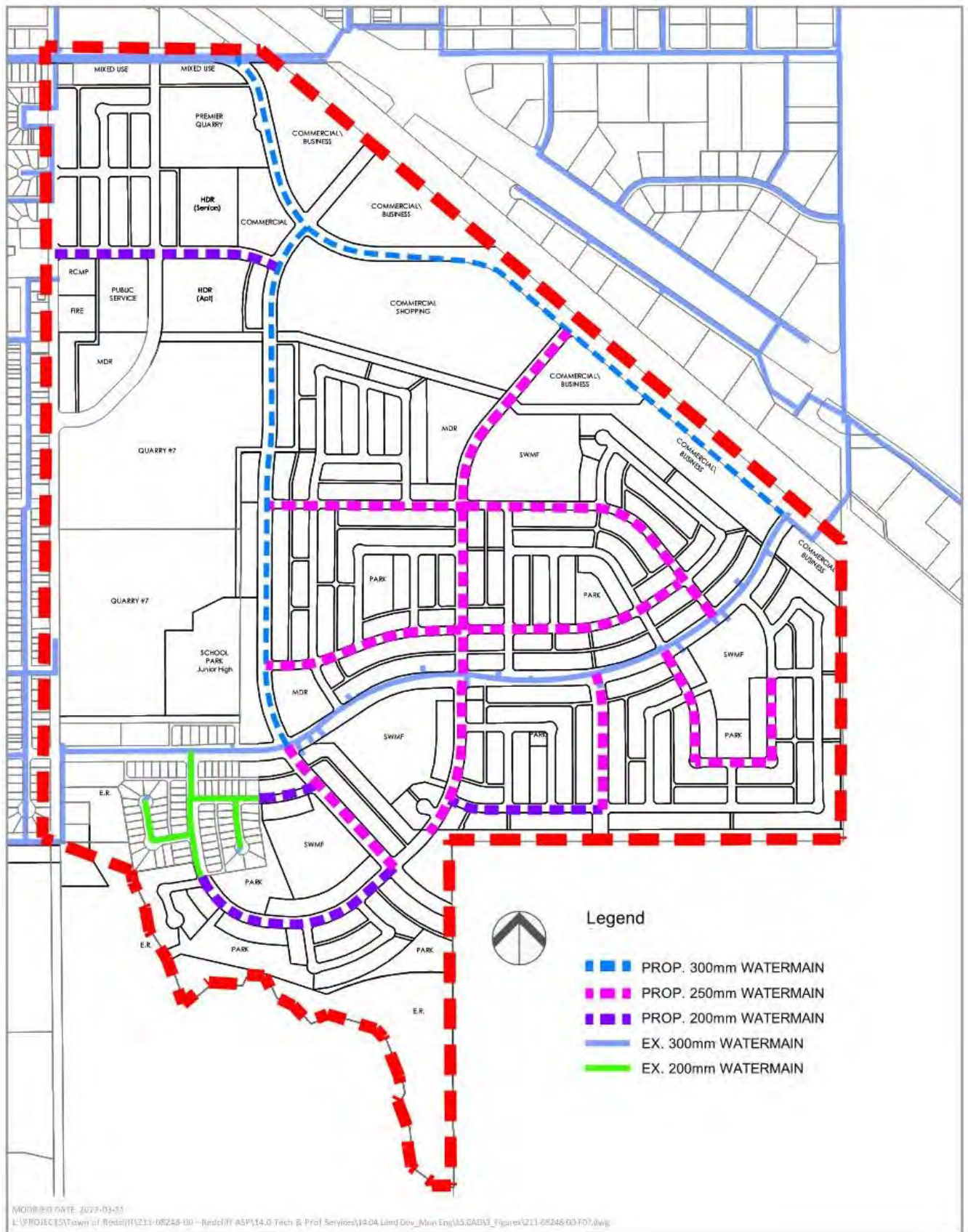


Figure 8 – Water Servicing

Policy 5.2.3

Alternative and more cost-efficient water servicing options may be considered during the subdivision process.

5.3 Sanitary Sewer

PURPOSE: The purpose of these policies is to support the design and development of a suitable and efficient sanitary sewer system to serve the plan area. The sanitary sewer system in this area is intended for drainage of sanitary sewage from the Eastside ASP area only and has been sized accordingly.

Proposed sanitary servicing should be consistent with the Sanitary servicing reports in place at the time of development. Which include the *Wastewater System Evaluation (2013, MPE)* and the *Inflow and Infiltration Study, Wastewater System Evaluation Update (2015, ISL)*. **Figure 9 –Sanitary Servicing** illustrates the existing and proposed sanitary sewer system.

Policy 5.3.1

The sanitary sewer system shall be designed to adequately and efficiently service the full build out of the plan area.

Policy 5.3.2

A Sanitary Sewer Servicing Study may be required to demonstrate that the subject lands can be serviced in accordance with the overall design of the wastewater system for the area at the discretion of the approval authority.

Policy 5.3.3

Proposed sanitary sewer systems and offsite requirements shall be reviewed, and if required, modelled, to the satisfaction of the approval authority.

Policy 5.3.4

Alternate and more cost-effective alignments and locations for sanitary sewer servicing can be considered during the subdivision process.

Policy 5.3.5

The sanitary sewer system realignment within Saamis Drive shall be reviewed at the time of the corridor study for the realignment of

Saamis Drive or during the subdivision process.

Policy 5.3.6

The sanitary sewer system shall be in general conformance to the *Town of Redcliff Wastewater Master Plan Update* and as approved or amended by the Town of Redcliff.

Policy 5.3.7

Non-Residential properties may require additional treatment of wastewater to treat development specific contaminants. Conformance with contaminant treatment requirements will comply with those set forth by *Alberta Environment* and the wastewater treatment facility operator.

5.4 Stormwater

PURPOSE: The purpose of these policies is to support the design and development of a suitable and efficient stormwater management system to serve the plan area.

The *Eastside Stormwater Master Drainage Plan (ESMDP) (Stantec, 2013)* and the *Town Wide Storm Systems Evaluation & Study (GENIVAR/WSP, 2012)* were utilized in the preparation of this ASP to develop a strategy for stormwater management for 227 hectares of land within the Town of Redcliff. The studies provide recommendations on stormwater management strategies that will address requirements for stormwater quantity control, opportunities for use, facility configuration and staging, and Landscape Architecture.

The *ESMDP* servicing concept includes two storm lift stations that are required for Ponds C and D. Table 4.4 of the *Eastside Stormwater Master Drainage Plan* describes the design requirements for each lift station. The requirements for these facilities will need to be explored further at the time of development. **Figure 10 – Stormwater** illustrates conceptual layouts of the proposed stormwater facilities.

Policy 5.4.1

The stormwater management system shall align with the *Eastside Stormwater Master Drainage Plan* and other applicable and relevant Town policies.

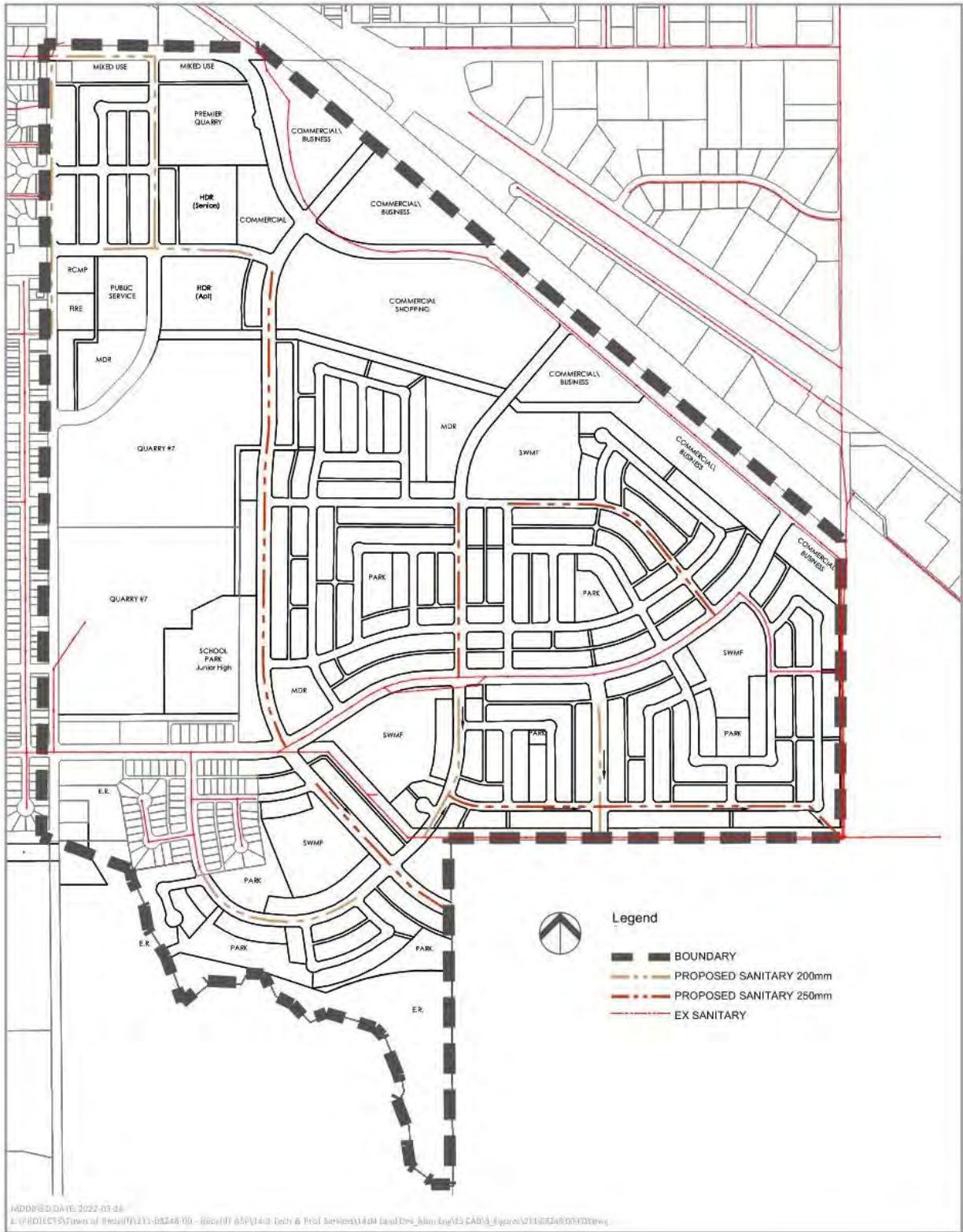


Figure 9 - Sanitary Sewer

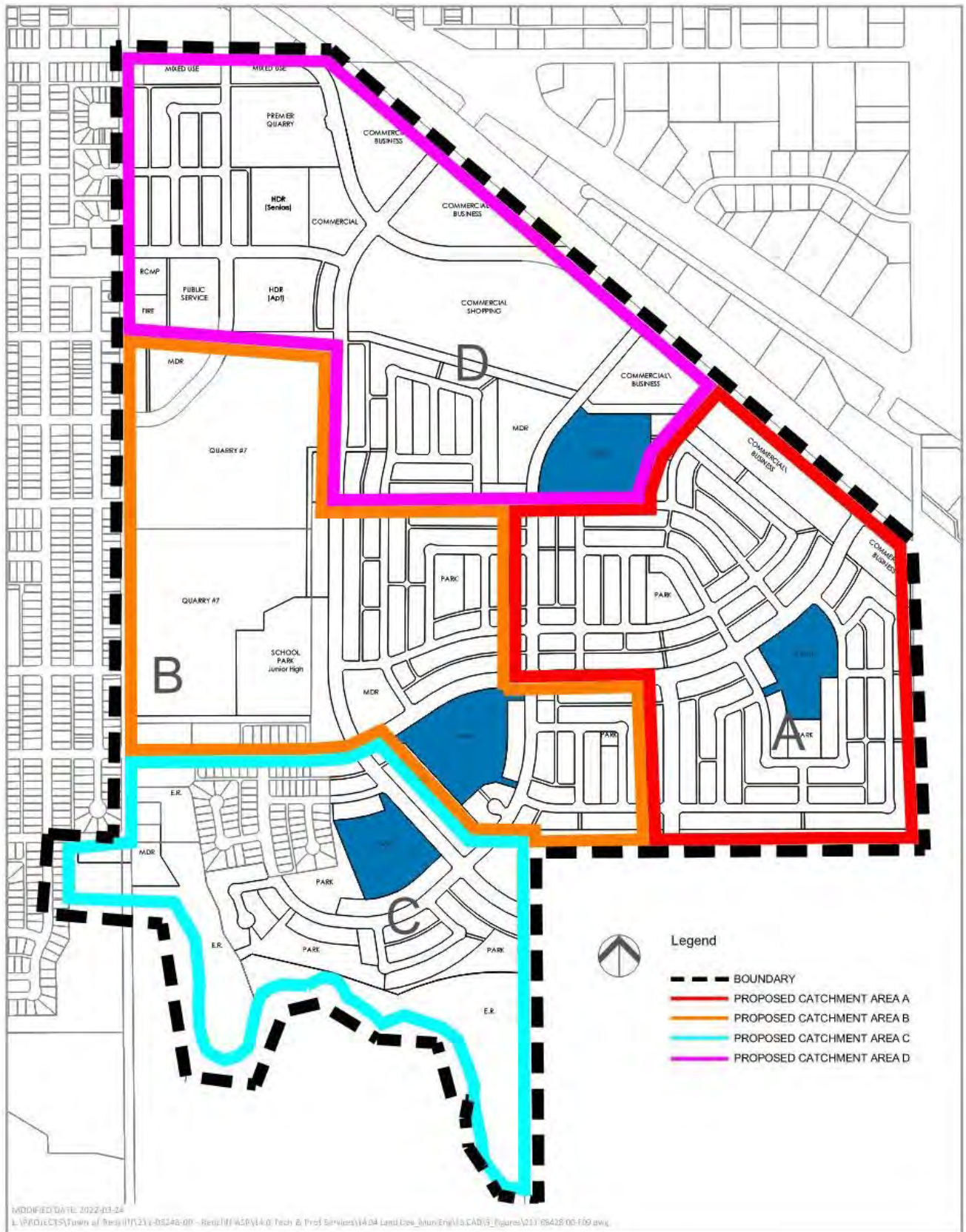


Figure 10 - Stormwater

Policy 5.4.2

Stormwater ponds should be located on a public utility whenever possible and should not be located in areas that qualify as ER.

Policy 5.4.3

Treated stormwater releases at predevelopment rates into the South Saskatchewan River in a way that contributes to the function of the natural features and provides for quality habitat shall be acceptable.

Policy 5.4.4

The stormwater management system shall be designed to adequately and efficiently service the full build out of the plan area.

Policy 5.4.5

A Staged Master Drainage Plan shall be submitted during the subdivision process that is consistent with the overall design of the stormwater management system for the plan area:

- The Staged Master Drainage Plan shall be required to comply with any current or new stormwater management policies;
- Best management practices, low impact development and alternatives for stormwater quality should be assessed; and
- Alternative and more cost-efficient options may be considered at the subdivision stage.

Policy 5.4.6

Where appropriate, the stormwater management system should be designed to operate on a gravity basis unless otherwise identified or approved by the Town of Redcliff.

Policy 5.4.7

Stormwater facilities shall be designed to complement the open space system and associated amenities.

5.5 Shallow Utilities

PURPOSE: The purpose of these policies is to ensure adequate utility infrastructure is provided to service urban development throughout this ASP area. The following shallow utilities providers operate within Redcliff:

- Gas – City of Medicine Hat
- Power – City of Medicine Hat
- Cable – Shaw
- Phone – Telus

Shallow utility servicing has been reviewed in the *FSR (2007)*; a summary of the requirements is listed below. These requirements shall be reviewed with the utility provider at the subdivision stage and specific constraints address:

- *Both Shaw and Telus indicated that they would install their utilities in the same trench as the power lines. This is reflected on the street cross sections shown on drawings 01-N and 01-S.*
- *The City of Medicine Hat Power Utility indicated the following regarding power servicing;*
 - *There are currently two (2) primary overhead feeds to this portion of Redcliff. These are the Redcliff feeder along Saamis Drive and the Kin Coulee feeder along Mitchell Street. (Reference drawing 08).*
 - *The long-term primary feed to the eastside area will be the Redcliff feeder.*
 - *The Redcliff feeder will be realigned and replaced with an underground feed as the development proceeds.*
 - *There is likely capacity for the first 2-3 phases of development off the Kin Coulee feeder.*
 - *Three phase power will be provided to the school site off the 9th Avenue extension as well as to the commercial land and lift station sites.*
- *The City of Medicine Hat Gas Utility indicated the following regarding servicing these lands:*
 - *An existing 150mm feeder through the site will provide service to initial phases.*
 - *A 200 mm feeder is required along Mitchell Street to ultimately service the entire development.*

- *A 250 mm feeder is required along the 9th Avenue extension to service the utility development.*

Policy 5.5.1

The location of all shallow utilities and the provision of rights-of-way and easements related line assignments should be addressed to the mutual satisfaction of the Town, the applicant, and the utility companies.

Policy 5.5.2

Utility rights of way and easements, public utility lots and road rights-of-way shall be

required as determined necessary to facilitate orderly and sequential development.

Policy 5.5.3

Easements and utility rights of way that accommodate the extension of shallow utilities through or adjacent to a site shall be provided to the approval authority as a condition of subdivision.

Policy 5.5.4

Shallow utility alignments may be refined at the Subdivision and Land Use Amendment stage without an amendment to this ASP.



6.0 Implementation

6.1 Intermunicipal Coordination

PURPOSE: The purpose of these policies is to ensure the Town of Redcliff and City of Medicine Hat engage in a coordinated planning process aligned with the Tri-Area Intermunicipal Development Plan (Bylaw #1616-2009).

The 1987 Burnside Heights ASP is located adjacent to the south and east of the Eastside ASP area in the City of Medicine Hat. As mentioned in the 2012 *City of Medicine Hat Municipal Development Plan* (Bylaw No. 4105) Section 6.2(b): *Area Structure Plans and Area Redevelopment Plans that were approved by the City prior to approval of this Plan are recognized. Future reviews of, and amendments to those ASP's and ARP's will be required to better align with the policies of this Plan.* It is anticipated Medicine Hat will engage the Town when updating the Burnside Heights ASP to reflect the City's current MDP.

Policy 6.1.1

Lands within the plan area at the Subdivision and Land Use Amendment stage shall not require referral to the City of Medicine Hat unless required by the approval authority.

Policy 6.1.2

Land Use and Subdivision applications should consider regional drainage, intermunicipal connectivity and transportation, local planning initiatives, interface conditions, and any other matters as mutually considered important.

6.2 Development Phasing

PURPOSE: The purpose of these policies is to support a clear and effective decision-making process that allows Council to make development decisions based on the coordination of growth, servicing, and supports the most efficient use of land within this ASP area.

Policy 6.2.1

Development should occur in an orderly manner, as shall be guided as illustrated in **Figure 11** – Development Phasing.

Policy 6.2.2

Alternate sequencing of development should be considered without amending this ASP if market conditions allow and if proper servicing infrastructure is available.

Policy 6.2.3

Alternate sequencing of development should be considered without amending this ASP to align with ownership boundaries.

6.3 Subdivision Applications and Other Considerations

PURPOSE: The purpose of these policies is to establish implementation of development targets and policy direction within this ASP.

Policy 6.3.1

All subdivision decisions shall conform to the policies of this ASP.

Policy 6.3.2

Minimum density requirements shall reflect the policies and context at the time of each subdivision application. The minimum densities outlined in this ASP may not be appropriate at the time of each subdivision application and should be adjusted as necessary, provided the proposed development can be serviced by the approved infrastructure.

Policy 6.3.3

Subdivision and development of the plan area will proceed in a manner which:

- Allows for the orderly and efficient expansion of the Town;
- Creates sufficient provision for road access and municipal utility servicing;

- Fosters a community layout reflecting small town feel as described in the MDP;
- Promotes a grid street network and walkability; and
- Supports development of an open space system as envisioned by this ASP.

Policy 6.3.4

The Developer shall be solely responsible for all costs for the provision of municipal infrastructure (roads, water, sanitary sewer, storm drainage) within the area being developed.

Policy 6.3.5

The Town and Developer shall negotiate responsibility for the cost to supply infrastructure improvements outside of the area being developed, but required to support the proposed development, based on the Town's current offsite levy bylaw.

Policy 6.3.6

Offsite levies for development within the plan area shall reflect the current Town bylaw at the discretion of the approval authority.

6.4 Plan Review and Amendment

PURPOSE: The purpose of these policies is to ensure this ASP remains relevant and effective over time.

Policy 6.4.1

An amendment to this ASP shall be required when a proposed subdivision results in one or more of the following:

- Re-location or elimination of a major arterial or collector roadway (other than a minor shift in alignment);
- Significant change in the general land use pattern (residential, commercial, industrial) shown in this ASP;
- Significant change to the open space system; or
- Deviation from the utility servicing concepts beyond those contemplated in this ASP.

Policy 6.4.2

This ASP shall be reviewed:

- At the request of Council;
- In response to a request of a registered landowner within the plan area at the discretion of Council;
- Upon amendment of the Town's Municipal Development Plan to ensure consistency; or
- After a period of 8 years from adoption to ensure this ASP is adequate.



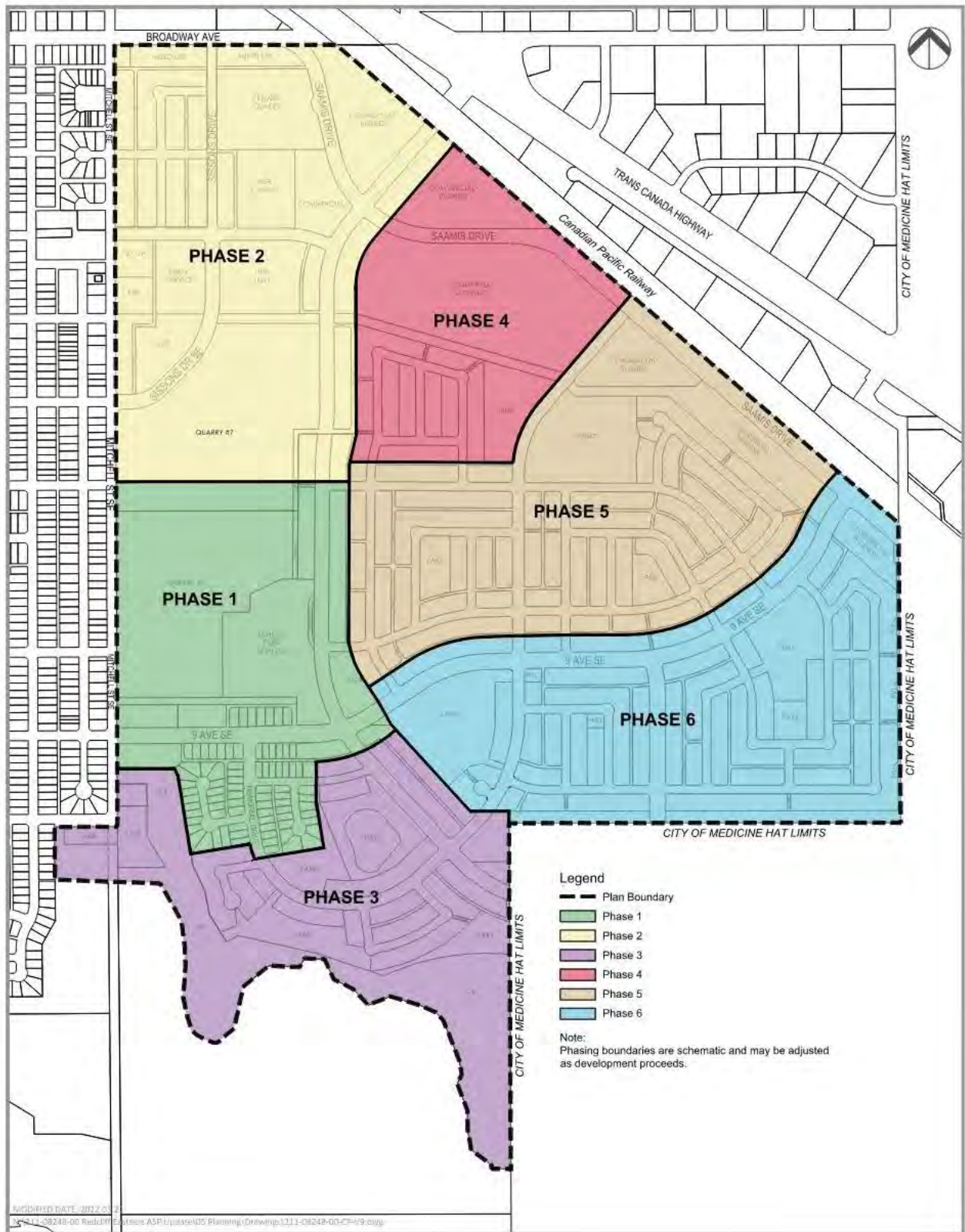


Figure 11 - Development Phasing

Appendix A - Glossary

Developer: means anyone who undertakes the following:

- a) an excavation or stockpile and the creation of either of them,
- b) a building or an addition to or replacement or repair of a building and the construction or placing of any of them on, in, over or under land,
- c) a change of use of land or a building or an act done in relation to land or a building that results in or is likely to result in a change in the use of the land or building, or
- d) a change in the intensity of use of land or a building or an act done in relation to land or a building that results in or is likely to result in a change in the intensity of use of the land or building;*

Low Density Residential: In the Redcliff context, low density housing takes the form of single-detached homes or duplexes, with an average density of 20 units/ha.

Medium Density Residential: In the Redcliff context, medium density housing takes the form of a tri-plex or fourplex, with a density of 20 - 30 units/ha.

High Density Residential: In the Redcliff context, high density housing takes the form of condo buildings or apartments 3 storeys high or less, with a maximum density of 40 units/ha.

*Alberta Municipal Government Act 616 (b)